



Network Operator's Licence
Water Industry Competition Act 2006

Licensee: ALTOGETHER
COORANBONG PTY LTD

ACN: 169 450 453

Licence #: 15_033

This licence was issued to Cooranbong Water Pty Ltd in 2015.

Cooranbong Water Pty Ltd was renamed Altogether Cooranbong Pty Ltd in 2021.

References in the licence to Cooranbong Water Pty Ltd should be read as references to Altogether Cooranbong Pty Ltd.

Issued by: The Minister administering the *Water Industry Competition Act 2006*

Issued on: 6 August 2015

Varied on: 26 July 2021



NEW SOUTH WALES GOVERNMENT

Water Industry Competition Act 2006 (NSW)

Network operator's licence

Licence no. 15_033

Cooranbong Water Pty Ltd

(ACN 169 450 453)



New South Wales

Water Industry Competition Act 2006 (NSW)

Section 15

**Notice of Decision -
Variation of Network Operator's Licences**

I, the Hon. Melinda Pavey, MP, Minister for Water, Property and Housing, have decided to amend the licences listed in Schedule 1, by deleting the content of the condition on each of those licences specified in Schedule 1, and replacing it with the following:

If the Licensee becomes aware that a customer's Plumbing is not Code Compliant, the Licensee must, within 10 days:

- (a) notify the customer of that fact, in writing, and*
- (b) where the Plumbing that is not Code Compliant threatens, or could threaten, water quality, public health or safety, also notify the Plumbing Regulator of that fact, in writing.*

[Note: Without limiting paragraph (b), an example of Plumbing which must be notified to the Plumbing Regulator under that clause is Plumbing that contains a point where it is possible for non-potable water to come into contact with a drinking water supply.]

Before this amendment, the standard condition required licensees to notify the Plumbing Regulator of all customer plumbing that was not Code Compliant. The reason for my decision to amend the condition is that the Plumbing Regulator, NSW Fair Trading, should be notified only where customer plumbing threatens, or could threaten, water quality, public health or safety.

I have also had regard to the licensing principles set out in section 7 of the *Water Industry Competition Act 2006* (NSW) in making this decision, particularly the protection of public health, the environment, public safety and consumers generally.

....
The Hon. Melinda Pavey, MP
Minister for Water, Property and Housing

Dated this 26 day of July 2021

Schedule 1

- a. Licence 09_001 held by Veolia Water Australia Pty Ltd, condition 11.1 of Schedule B
- b. Licence 09_003 held by Aquacell Pty Ltd, condition 11.1 of Schedule B
- c. Licence 12_016 held by Orica Australia Pty Ltd, condition 11.1 of Schedule B
- d. Licence 12_022 held by Central Park Water Pty Ltd, condition 11.1 of Schedule B
- e. Licence 13_025 held by Discovery Point Water Pty Ltd, condition 11.1 of Schedule B
- f. Licence 15_031 held by Green Square Water Pty Ltd, condition 11.1 of Schedule B
- g. Licence 15_032 held by Aquacell Pty Ltd, condition 11.1 of Schedule B
- h. Licence 15_033 held by Cooranbong Water Pty Ltd, condition 11.1 of Schedule B
- i. Licence 16_035 held by Catherine Hill Bay Water Utility Pty Ltd, condition 11.1 of Schedule B
- j. Licence 17_040 held by Narara Ecovillage Co-operative Ltd, condition 13.1 of Schedule B
- k. Licence 17_042 held by Flow Systems Operations Pty Ltd, condition 11.1 of Schedule B
- l. Licence 19_043 held by Flow Systems Operations Pty Ltd, condition 11.1 of Schedule B
- m. Licence 20_044 held by Kyeema Wastewater Pty Ltd, condition 11.1 of Schedule B



New South Wales

Water Industry Competition Act 2006 (NSW)

Section 10

**Notice of Decision -
Application for a Variation of Network Operator's
Licence No. 15_033**

I, The Hon. Melinda Pavey MP, Minister for Water, Property and Housing have decided to grant Cooranbong Water Pty Ltd (**Applicant**)'s (ACN 169 450 453) application (**Application**) to vary network operator's licence number 15_033 (**Licence**) under section 10(1) of the *Water Industry Competition Act 2006 (NSW)* (**Act**). The reasons for my decision are set out below.

I have considered and accepted the Independent Pricing and Regulatory Tribunal (**IPART**)'s advice and recommendations in its report to me on the Application. I attach IPART's report (**Attachment A**).

Based on my consideration and acceptance of IPART's report:

- (a) I am satisfied that the Applicant is not a disqualified corporation for the purposes of section 10(3)(a) of the Act;
- (b) I am satisfied that the Applicant is not a corporation that is a related entity (within the meaning of the *Corporations Act 2001* (Cth)) of a disqualified corporation that would have a direct or indirect interest in, or influence on, the carrying out of the activities that the Licence, if varied in accordance with the Application, would authorise, for the purposes of section 10(3)(b) of the Act; and
- (c) I am satisfied as to each of the criteria set out in section 10(4) of the Act.

I have also:

- (a) had regard to the licensing principles set out in section 7 of the Act in considering whether or not to grant the Licence variation and what conditions should be imposed on the Licence; and
- (b) examined and taken into account to the fullest extent possible all matters affecting or likely to affect the environment by reason of the activity authorised by the Licence as required by section 5.5 of the *Environmental Planning and Assessment Act 1979* (NSW).

I attach the Licence, as varied (**Attachment B**).

The Hon. Melinda Pavey, MP
Minister for Water, Property and Housing

Dated this

27

day of

July 2020

PRELIMINARY

1. Summary

- 1.1. This Licence is granted under section 10(1) of the Act.
- 1.2. The Act prohibits a person from constructing, maintaining or operating any water industry infrastructure otherwise than under the authority of a licence. This Licence authorises the Licensee and other Authorised Persons to carry out such activities that would otherwise be prohibited under the Act.

2. Outline

- 2.1. This Licence is divided into the following sections and schedules:

Section 1 authorises the construction, maintenance and operation of water infrastructure for non-potable water (if applicable).
Section 2 authorises the construction, maintenance and operation of water infrastructure for drinking water (if applicable).
Section 3 authorises the construction, maintenance and operation of sewerage infrastructure (if applicable).
Schedule A sets out special Ministerially-imposed licence conditions that are specific to this Licence.
Schedule B sets out Ministerially-imposed licence conditions that generally apply to network operators' licences granted under the Act.
Schedule C sets out definitions and interpretation provisions.
Schedule D sets out the area of operations for non-potable water and sewage treatment infrastructure.
Schedule E sets out the area of operations for non-potable water reticulation infrastructure.
Schedule F sets out the area of operations for drinking water reticulation infrastructure and sewerage services infrastructure.

Schedule G provides indicative maps for reference only.

- 2.2. In addition to the conditions in Schedules A and B to this Licence, the Act and Regulation also contain conditions that apply to this Licence. Nothing in Schedules A or B modify or affect the conditions imposed on this Licence by the Act or Regulation.
- 2.3. Where there is an inconsistency between Schedule G on the one hand and any of Schedules D, E and F on the other hand, Schedules D, E and F are to prevail over Schedule G to the extent of the inconsistency.

SECTION 1 – ACTIVITIES AUTHORISED: NON-POTABLE WATER

Subject to the conditions imposed by the Act, the Regulation and Schedules A and B of this Licence, this Licence authorises the Licensee and any Authorised Persons specified in Table 1.1 to construct, maintain and operate the water industry infrastructure specified in Table 1.2:

- a) for one or more of the purposes for water industry infrastructure specified in Table 1.2; and
- b) within the area of operations specified in Table 1.3.

The non-potable water supplied by means of the water industry infrastructure specified in Table 1.2 may only be used for the authorised purposes for non-potable water specified in Table 1.4.

Table 1.1 Authorised Persons

Flow Systems Pty Ltd (ACN 136 272 298)
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Table 1.2 Water industry infrastructure and purposes for water industry infrastructure

- | |
|---|
| <ul style="list-style-type: none">1) A treatment plant for non-potable water and other water infrastructure used, or to be used, in connection with the treatment plant, where components of the treatment plant or other water infrastructure may be used for one or more of the following purposes for water industry infrastructure:<ul style="list-style-type: none">a) production of non-potable water;b) treatment of non-potable water;c) filtration of non-potable water;d) storage of non-potable water; ande) conveyance of non-potable water in the area specified in Table 1.3 (1).2) A reticulation network for non-potable water and other water infrastructure used, or to be used, in connection with the reticulation network, where components of the reticulation network or other water infrastructure may be used for one or more of the following purposes for water industry infrastructure:<ul style="list-style-type: none">a) production of non-potable water;b) treatment of non-potable water;c) filtration of non-potable water;d) storage of non-potable water; ande) conveyance of non-potable water in the areas specified in Table 1.3 (2). |
|---|

Table 1.3 Area of operations

- | |
|---|
| <ol style="list-style-type: none">1) The land bounded within the sequentially numbered vertices listed in Schedule D, Table D.1 and illustrated in Map 1 in Schedule G.2) The land bounded within the sequentially numbered vertices listed in Schedule E, Table E.1 and illustrated in Map 2 in Schedule G. |
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Table 1.4 Authorised purposes for non-potable water

- | |
|---|
| <ol style="list-style-type: none">1) Toilet flushing2) Washing machines (cold water)3) Car washing4) Ornamental water features5) Irrigation6) Dust suppression for construction activities |
|---|

SECTION 2 – ACTIVITIES AUTHORISED: DRINKING WATER

Subject to the conditions imposed by the Act, the Regulation and Schedules A and B of this Licence, this Licence authorises the Licensee and any Authorised Persons specified in Table 2.1 to construct, maintain and operate the water industry infrastructure specified in Table 2.2:

- a) for one or more of the purposes for water industry infrastructure specified in Table 2.2; and
- b) within the area of operations specified in Table 2.3.

Table 2.1 Authorised Persons

Flow Systems Pty Ltd (ACN 136 272 298)
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Table 2.2 Water industry infrastructure and purposes for water industry infrastructure

A reticulation network for drinking water and other water infrastructure used, or to be used, in connection with the reticulation network, where components of the reticulation network or other water infrastructure may also be used for one or more of the following:
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- | |
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| <ul style="list-style-type: none">a) storage of drinking water;b) conveyance of drinking water; andc) treatment of drinking water. |
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Table 2.3 Area of operations

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| 1) The land situated within the sequentially numbered vertices listed in Schedule F, Table F.1 and illustrated in Map 3 in Schedule G. |
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Table 2.4 Authorised purposes

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|---------------------------------|
| 1) Provision of drinking water. |
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SECTION 3 – ACTIVITIES AUTHORISED: SEWERAGE SERVICES

Subject to the conditions imposed by the Act, the Regulation and Schedules A and B of this Licence, this Licence authorises the Licensee and any Authorised Persons specified in Table 3.1 to construct, maintain and operate the water industry infrastructure specified in Table 3.2:

- a) for one or more of the purposes for water industry infrastructure specified in Table 3.2; and
- b) within the area of operations specified in Table 3.3.

Table 3.1 Authorised Persons

Flow Systems Pty Ltd (ACN 136 272 298)
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Table 3.2 Water industry infrastructure and purposes for water industry infrastructure

- | |
|---|
| <ul style="list-style-type: none">1) A treatment plant for sewage and other sewerage infrastructure used, or to be used, in connection with the treatment plant, where components of the treatment plant or other sewerage infrastructure may be used for one or more of the following purposes for water industry infrastructure:<ul style="list-style-type: none">a) production of treated non-potable water from sewage;b) treatment of sewage;c) filtration of sewage;d) storage of sewage; ande) conveyance of sewagein the area specified in Table 3.3 (1)2) A reticulation network for sewage and other sewerage infrastructure used, or to be used, in connection with the reticulation network, where components of the reticulation network or other sewerage infrastructure may be used for one or more of the following purposes for water industry infrastructure:<ul style="list-style-type: none">a) production of treated non-potable water from sewage,b) treatment of sewage;c) filtration of sewaged) storage of sewage; ande) conveyance of sewagein the area specified in Table 3.3 (2) |
|---|

Table 3.3 Area of operations

- | |
|---|
| <ol style="list-style-type: none">1) The land situated within the sequentially numbered vertices listed in Schedule D, Table D.1 and illustrated in Map 1 in Schedule G.2) The land situated within the sequentially numbered vertices listed in Schedule D, Table F.2 and illustrated in Map 3 in Schedule G. |
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Table 3.4 Authorised purposes

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| <ol style="list-style-type: none">1) Sewage collection and transport |
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SCHEDULE A – SPECIAL MINISTERIALLY-IMPOSED LICENCE CONDITIONS

1. Notification of changes to Agreements

1.1. If a party to an Agreement proposes to:

- a) terminate the Agreement;
- b) novate the Agreement;
- c) assign or transfer any of its rights or obligations under the Agreement to any other person; or
- d) alter the Agreement in any way that materially reduces the Licensee's technical, financial or organisational capacity to carry out the activities authorised by this Licence,

the Licensee must provide IPART with written notice of that fact as soon as practicable, but no later than 3 months, before the time when the proposed action is to occur. The written notice must include details of how the services provided under the Agreement will be provided subsequent to the proposed termination, novation, assignment, transfer or alteration.

2. Review of Environmental Factors

2.1. Where the Licensee carries out any activities authorised by this Licence, the Licensee must:

- a) implement environmental risk mitigation measures substantially consistent with the environmental risk mitigation measures identified in the REF; and
- b) specify, in any Plan or combination of Plans, how the Licensee will implement environmental risk mitigation measures substantially consistent with the environmental risk mitigation measures identified in the REF.

3. Construction Environmental Management Plan

3.1. The Licensee must not commence, or authorise the commencement of, the construction of any Water Industry Infrastructure the subject of the REF until after the Licensee has provided a Construction Environmental Management Plan to IPART, and IPART has provided written approval of the Construction Environmental Management Plan to the Licensee.

3.2. The Licensee must ensure that the construction of any Water Industry Infrastructure the subject of the REF is carried out in accordance with the approved Construction Environmental Management Plan.

4. Management of Designated Irrigation Zones

- 4.1. The Licensee must manage irrigation of Designated Irrigation Zones in accordance with the recommendations in the LCA
- 4.2. The Licensee must monitor soil condition of Designated Irrigation Zones on an annual basis and maintain records of monitoring. Any deterioration to soil conditions from the LCA must be reported to IPART with proposed mitigation measures that the Licensee will undertake. The licensee must undertake, and maintain records of, all proposed mitigation measures unless notified otherwise by IPART

5. Water Quality Plan

- 5.1. The licensee must ensure that its water quality plan is a single, cohesive and structured scheme specific document which specifies the actions the licensee must take to implement the 12 elements of the framework for recycled water and drinking water quality management and use set out in the Australian Guidelines for Water Recycling and the Australian Drinking Water Guidelines.

6. Operational Procedures

- 6.1. The Licensee must develop and document, consistent with element 4 of the Australian Guidelines for Water Recycling and Australian Drinking Water Guidelines:
- a) monitoring protocols for operational performance of the recycled water and drinking water supply systems, including the selection of operational parameters and criteria, and the routine analysis of results;
 - b) procedures for corrective action where operational parameters are not met;
 - c) procedures for rapid communication systems to deal with unexpected events; and
 - d) programs for regular inspection and maintenance of all equipment, including monitoring equipment.
- 6.2. The Licensee must:
- a) fully implement the Operational Procedures;
 - b) ensure that all of its activities are carried out in accordance with the Operational Procedures; and
 - c) keep records to demonstrate the extent to which the Operational Procedures have been implemented and complied with.

SCHEDULE B – GENERAL MINISTERIALLY-IMPOSED LICENCE CONDITIONS

1. Ongoing capacity to operate

- 1.1. The Licensee must have the technical, financial and organisational capacity to carry out the activities authorised by this Licence. If the Licensee ceases to have this capacity, it must report this to IPART in accordance with the Reporting Manual.

2. Maintaining appropriate insurance

- 2.1. The Licensee must hold insurance that is appropriate for the size and nature of the activities that the Licensee is carrying out under this Licence.
- 2.2. The Licensee must provide a copy of each certificate of currency of the insurance maintained by the Licensee to IPART in accordance with the Reporting Manual.
- 2.3. Before commencing to commercially operate the Specified Water Industry Infrastructure under this Licence, the Licensee must demonstrate that the insurance held is appropriate for the size and nature of those commercial operation activities, by providing a report to IPART from an Insurance Expert that:
- a) certifies that in the Insurance Expert's opinion, the type, scope and limit of the insurance held by the Licensee is appropriate for the size and nature of those commercial operation activities; and
 - b) is in the form prescribed by the Reporting Manual.
- 2.4. [Not applicable]
- 2.5. If, in relation to the activities authorised by this Licence, there is, or is to be, a change in either of the following, the Licensee must provide a report to IPART in accordance with the Reporting Manual:
- a) the insurer or underwriting panel in respect of an insurance policy held by the Licensee; or
 - b) the type, scope or limit on the amount of insurance held by the Licensee.
- 2.6. From time to time when requested in writing by IPART, the Licensee must provide a report to IPART, in the manner and form and within the timeframes specified by IPART, from an Insurance Expert certifying that in the Insurance Expert's opinion the type, scope and limit on the amount of insurance held by the Licensee is appropriate for the size and nature of the activities that the Licensee is carrying out under this Licence.

[Note: The circumstances in which IPART may request a report under clause 2.6 include (but are not limited to) the following:

- *where IPART considers that there may be a change in the type, scope or limit on the amount of insurance held by the Licensee in relation to activities that the Licensee is carrying out under this Licence;*
- *where there is a change in the type or extent of activities authorised by this Licence;
or*
- *where IPART or an approved auditor considers that the type, scope or limit on the amount of insurance held by the Licensee may not be appropriate for the size and nature of the activities that the Licensee is carrying out under this Licence.]*

- 2.7. The Licensee must maintain professional indemnity insurance during the Design Phase and for a minimum period of 6 years from the date of the completion of the Design Phase.

3. Complying with NSW Health requirements

- 3.1. The Licensee must carry out the activities authorised by this Licence in compliance with any requirements of NSW Health that:
- a) IPART has agreed to; and
 - b) are notified from time to time to the Licensee by IPART in writing.

4. Complying with Audit Guidelines

- 4.1. The Licensee must comply with any Audit Guidelines issued by IPART.

5. Reporting in accordance with the Reporting Manual

- 5.1. The Licensee must prepare and submit reports in accordance with the Reporting Manual.

6. Reporting information in relation to the register of licences

- 6.1. The Licensee must notify IPART, and provide IPART with details, of any change in relation to the following, in accordance with the Reporting Manual, within 14 days of the change:
- a) any source from which the water handled by the Specified Water Industry Infrastructure is derived;

- b) the identity of each licensed retail supplier or public water utility that has access to the infrastructure services provided by the Specified Water Industry Infrastructure for the purpose of supplying water to its customers;
- c) any other water infrastructure to which the Specified Water Industry Infrastructure is connected;
- d) in the case of non-potable water, the authorised purposes for that water;
- e) the identity of each licensed retail supplier or public water utility that has access to infrastructure services provided by the Specified Water Industry Infrastructure for the purpose of providing sewerage services to its customers;
- f) any other sewerage infrastructure to which the Specified Water Industry Infrastructure is connected; and
- g) the arrangements for the disposal of waste from the water industry infrastructure specified in section 3, Table 3.2.

7. Monitoring

- 7.1. The Licensee must undertake any monitoring that is required for the purposes of this Licence, any Plan, the Act or the Regulation in accordance with this clause 7.
- 7.2. The Licensee must keep the following records of any samples taken for monitoring purposes specified in the Water Quality Plan:
 - a) the date on which the sample was taken;
 - b) the time at which the sample was collected;
 - c) the point or location at which the sample was taken; and
 - d) the chain of custody of the sample (if applicable).
- 7.3. The Licensee must ensure that analyses of all samples taken for the purposes of Verification Monitoring are carried out by a laboratory accredited for the specified tests by an independent body that is acceptable to NSW Health, such as the National Association of Testing Authorities or an equivalent body.

8. Delineating responsibilities

- 8.1. If a code of conduct has not been established under clause 25 of the Regulation, the Licensee must, by a date specified by IPART, establish a code of conduct (**Licensee's Code of Conduct**) in accordance with this clause 8.
- 8.2. Before the Licensee brings the Specified Water Industry Infrastructure into commercial operation or by a later date specified by IPART (if any), the Licensee's Code of Conduct must be agreed in writing between:
 - a) the Licensee; and

- b) each licensed network operator, licensed retail supplier and/or public water utility that:
 - i) supplies water or provides sewerage services by means of any water industry infrastructure that is connected to the Specified Water Industry Infrastructure; or
 - ii) constructs, maintains or operates any water industry infrastructure that is connected to the Specified Water Industry Infrastructure.

8.3. [Not applicable]

8.4. The Licensee's Code of Conduct must set out the respective responsibilities of the entities specified in clause 8.2 by, at a minimum, providing for:

- a) who is responsible for repairing, replacing or maintaining any pipes, pumps, valves, storages or other infrastructure connecting the Specified Water Industry Infrastructure to the other water industry infrastructure;
- b) who is responsible for water quality;
- c) who is liable in the event of the unavailability of water;
- d) who is liable in the event of failure of any water industry infrastructure;
- e) the fees and charges payable in respect of the use of the water industry infrastructure; and
- f) who is responsible for handling customer complaints.

8.5. The Licensee must not contravene the Licensee's Code of Conduct to the extent that it makes the Licensee responsible or liable for the matters set out in it.

9. Notification of changes to end-use

9.1. If the Licensee proposes to operate the Specified Water Industry Infrastructure to supply non-potable water for an end-use which is not set out in the most recent Water Quality Plan provided to IPART, the Licensee must notify IPART in writing at least 3 months before commencing such operation.

10. Notification of commercial operation

10.1. Each time the Licensee has brought any new Specified Water Industry Infrastructure into commercial operation, the Licensee must:

- a) notify IPART in accordance with the Reporting Manual that it has brought the relevant Specified Water Industry Infrastructure into commercial operation; and
- b) provide such notification within 10 days after it has brought the relevant Specified Water Industry Infrastructure into commercial operation.

11. Notification of non-compliant Plumbing

- 11.1. If the Licensee becomes aware that a customer's Plumbing is not Code Compliant, the Licensee must, within 10 days, notify the customer and the Plumbing Regulator, in writing, of that fact.

SCHEDULE C – INTERPRETATION AND DEFINITIONS

1. Interpretation

- 1.1. In this Licence, unless the context requires otherwise:
- a) the singular includes the plural and vice versa;
 - b) headings are used for convenience only and do not affect the interpretation of this Licence;
 - c) a reference to a document includes the document as modified from time to time and any document replacing it;
 - d) a reference to a "person" includes a natural person and any body or entity whether incorporated or not;
 - e) a reference to a clause is to a clause in this Licence;
 - f) a reference to a section is to a section in this Licence;
 - g) a reference to a schedule is to a schedule to this Licence;
 - h) a reference to a law or statute includes regulations, rules, codes and other instruments under it, and consolidations, amendments, re-enactments or replacements of them; and
 - i) explanatory notes do not form part of this Licence, but in the case of uncertainty may be relied on for interpretation purposes.

2. Definitions

- 2.1. Expressions used in this Licence that are defined in the Act or the Regulation have the meanings set out in the Act or the Regulation.

- 2.2. In this Licence:

Act	means the <i>Water Industry Competition Act 2006</i> (NSW).
Agreement	means any agreement or deed provided to IPART in connection with the Licensee's application for this Licence, or any application to vary this Licence.
Audit Guidelines	means the document titled " <i>Audit Guideline – Water Industry Competition Act 2006</i> ", which is prepared by IPART and is available on IPART's website at www.ipart.nsw.gov.au , and any other guidelines issued by IPART in relation to audits under the Act.

Authorised Person	means each person specified in, as applicable: <ul style="list-style-type: none"> a) section 1, Table 1.1; b) section 2, Table 2.1; and c) section 3, Table 3.1.
Authorised Purposes	means the authorised purposes specified in, as applicable: <ul style="list-style-type: none"> a) section 1, Table 1.4; b) section 2, Table 2.4; and c) section 3, Table 3.4.
Code Compliant	has the meaning given to that term under section 7 of the <i>Plumbing and Drainage Act 2011</i> (NSW).
Construction Environmental Management Plan	means a site or project specific plan which: <ul style="list-style-type: none"> a) complies with the basic structure detailed in the Environmental Management Plan Guidelines; and b) identifies how the Licensee will implement the environmental risk mitigation measures identified in the REF to the extent they relate to construction.
Designated Irrigation Zones	means designated irrigation zones identified in the LCA.
Design Phase	means the period during which any design works are carried out in relation to the water industry infrastructure that the Licensee is authorised to construct, maintain and operate under this Licence.
Environmental Management Plan Guidelines	means the document titled " <i>Guideline for the Preparation of Environmental Management Plans</i> ", prepared by the Department of Infrastructure, Planning and Natural Resources.

Insurance Expert	means an insurance broker which holds an Australian financial services licence under Part 7.6 of the <i>Corporations Act 2001</i> (Cth) that authorises the broker to provide financial product advice for, and deal in, contracts of insurance within the meaning of Chapter 7 of that Act.
IPART	means the Independent Pricing and Regulatory Tribunal of New South Wales established under the <i>Independent Pricing and Regulatory Tribunal Act 1992</i> (NSW).
LCA	means the " <i>Land Capability Assessment and Recycled Water Irrigation Plan North Cooranbong, NSW (Extension to Cooranbong Water NOL#15_033)</i> ", 24 September 2018.
Licence	means this network operator's licence granted under section 10 of the Act.
Licensee	means Cooranbong Water Pty Ltd (ACN 169 450 453).
Licensee's Code of Conduct	has the meaning given in Schedule B, clause 8.1.
Minister	means the Minister responsible for Part 2 of the Act.
NSW Health	means the Water Unit of NSW Ministry of Health and any of the local health districts as defined by the NSW Ministry of Health.
Ornamental Water Feature	means water features that: <ul style="list-style-type: none"> a) are provided primarily for aesthetic or beautification purposes, and b) do not, by their design or accessibility, encourage interaction with the water.
Plan	means any infrastructure operating plan, water quality plan or sewage management plan that the Licensee is required to prepare under the Regulation.

Plumbing	means any pipe, fitting or apparatus that is situated: <ul style="list-style-type: none"> a) downstream of the customer's connection point to a water main, where the water main is Specified Water Industry Infrastructure; b) upstream of a customer's connection point to a sewer main, where the sewer main is Specified Water Industry Infrastructure; or c) upstream of a customer's connection point to a stormwater drain, where the stormwater drain is Specified Water Industry Infrastructure.
Plumbing Regulator	has the meaning given to that term under section 3 of the <i>Plumbing and Drainage Act 2011</i> (NSW).
REF	means the document titled "Extension of WICA Network Operator Licence 15_033 Cooranbong – Review of Environmental Factors", Version E, prepared by RPS Australia East Pty Ltd and dated 25 September 2019 and does not include any modified version of that document or any document replacing it.
Regulation	means the Water Industry Competition (General) Regulation 2008 (NSW).
Reporting Manual	means the document titled "Network Operator's Reporting Manual", which is prepared by IPART and is available on IPART's website at www.ipart.nsw.gov.au .
Specified Water Industry Infrastructure	means the water industry infrastructure specified in, as applicable: <ul style="list-style-type: none"> d) section 1, Table 1.2; e) section 2, Table 2.2; and f) section 3, Table 3.2.
Verification Monitoring	means verification monitoring as described in the document titled " <i>Australian Drinking Water Guidelines</i> " or the document titled " <i>Australian Guidelines for Water Recycling</i> " as the case may be.
Water Quality Plan	means the water quality plan that the Licensee is required to prepare under the Regulation.

**SCHEDULE D – AREA OF OPERATIONS – NON-POTABLE WATER AND SEWAGE
TREATMENT INFRASTRUCTURE**

Table D.1 Vertices for area of operation

Vertex	Coordinates ¹	
	Eastings	Northings
1	355974.226	6340014.313
2	356089.188	6340029.934
3	356098.205	6340031.159
4	356139.302	6340022.406
5	356132.106	6339947.433
6	356089.208	6339500.483
7	356087.789	6339499.203
8	356047.991	6339543.034
9	356029.467	6339554.282
10	356000.436	6339586.616
11	356001.255	6339815.371
12	355985.02	6339934.868
13	355974.226	6340014.313

¹ Coordinate reference system is MGA 56

**SCHEDULE E – AREA OF OPERATIONS – NON-POTABLE WATER RETICULATION
INFRASTRUCTURE**

Table E.1 Vertices for area of operation

Coordinates ¹			Coordinates ¹		
Vertex	Easting	Northing	Vertex	Easting	Northing
1	354351.202	6342167.55	40	356472.252	6340901.686
2	354514.692	6342139.48	41	356465.966	6340857.134
3	354592.036	6342126.211	42	356518.25	6340853.471
4	355263.261	6342010.852	43	356522.239	6340734.066
5	355299.057	6342004.699	44	356521.267	6340708.562
6	355457.953	6341977.432	45	356511.592	6340653.776
7	355476.118	6341974.262	46	356628.492	6340635.63
8	355928.178	6341895.744	47	356663.771	6340597.367
9	355947.934	6341892.376	48	356656.201	6340553.09
10	355853.373	6341292.557	49	356655.421	6340548.975
11	356025.753	6341261.302	50	356518.744	6340571.539
12	356035.744	6341259.492	51	356517.393	6340564.916
13	356035.744	6341259.492	52	356511.02	6340529.497
14	356150.057	6341238.764	53	356509.328	6340520.087
15	356154.466	6341287.101	54	356508.144	6340512.92
16	356150.397	6341292.015	55	356507.647	6340509.879
17	356230.926	6341284.356	56	356473.232	6340515.876
18	356234.995	6341279.435	57	356459.461	6340518.274
19	356251.894	6341277.87	58	356457.642	6340507.902
20	356256.765	6341281.96	59	356425.193	6340513.556
21	356403.679	6341268.302	60	356392.735	6340519.209
22	356407.748	6341263.377	61	356378.973	6340521.608
23	356424.694	6341261.757	62	356346.515	6340527.26
24	356429.593	6341265.824	63	356314.239	6340533.244
25	356484.442	6341260.581	64	356314.179	6340540.351
26	356488.511	6341255.657	65	356255.557	6340549.401
27	356505.457	6341254.038	66	356241.003	6340473.322
28	356498.096	6341175.733	67	356251.795	6340469.873
29	356649.645	6341148.313	68	356238.394	6340391.931
30	356774.359	6341125.628	69	356228.412	6340393.983
31	356976.796	6341088.994	70	356218.483	6340342.249
32	356953.354	6340941.979	71	356253.676	6340334.913
33	356933.899	6340819.976	72	356249.597	6340308.5
34	356697.067	6340862.109	73	356308.787	6340296.974
35	356717.346	6340981.24	74	356304.967	6340279.013
36	356698.489	6340984.596	75	356297.856	6340238.541
37	356547.095	6340995.2	76	356313.647	6340235.975
38	356538.803	6340910.934	77	356329.672	6340233.37
39	356473.609	6340915.5	78	356345.706	6340230.766

Coordinates ¹		
Vertex	Easting	Northing
79	356361.74	6340228.161
80	356377.774	6340225.556
81	356373.42	6340204.076
82	356370.51	6340204.431
83	356294.047	6340216.855
84	356271.293	6340220.551
85	356255.643	6340195.055
86	356235.132	6340161.656
87	356281.62	6340098.924
88	356320.705	6340027.191
89	356341.037	6340032.67
90	356370.51	6340204.431
91	356373.42	6340204.076
92	356363.245	6340144.607
93	356353.07	6340085.137
94	356332.72	6339966.2
95	356323.68	6339976.503
96	356287.552	6339941.527
97	356269.488	6339924.042
98	356251.424	6339906.549
99	356139.306	6340022.406
100	356132.106	6339947.433
101	356089.208	6339500.483
102	356087.789	6339499.202
103	356102.181	6339485.034
104	356108.883	6339477.55
105	356137.009	6339446.173
106	356191.06	6339385.868
107	356146.496	6339345.677
108	356101.721	6339305.283
109	356056.936	6339264.888
110	356012.152	6339224.497
111	355967.378	6339184.103
112	355937.522	6339157.174
113	355889.604	6339150.239
114	355789.484	6339135.747
115	355790.994	6339125.721
116	355792.485	6339115.772
117	355800.099	6339062.819
118	355807.754	6339009.666
119	355815.398	6338956.515
120	355823.99	6338896.791
121	356022.96	6338925.561
122	356014.361	6338985.301

Coordinates ¹		
Vertex	Easting	Northing
123	356006.707	6339038.47
124	355999.045	6339091.637
125	355991.422	6339144.609
126	356208.677	6339176.1
127	356188.363	6339058.2
128	356179.897	6339009.081
129	356193.555	6338914.428
130	356214.688	6338767.887
131	356237.327	6338610.893
132	356323.194	6338606.372
133	356541.862	6338568.677
134	356471.029	6338437.977
135	356461.448	6338420.286
136	356360.085	6338292.326
137	356368.58	6338289.206
138	356379.966	6338285.023
139	356455.341	6338380.178
140	356456.826	6338382.05
141	356478.322	6338409.186
142	356491.967	6338434.366
143	356583.626	6338418.63
144	356568.24	6338323.669
145	356566.185	6338304.586
146	356564.64	6338290.269
147	356564.4	6338288.775
148	356574.441	6338287.192
149	356581.223	6338286.276
150	356584.637	6338285.82
151	356588.07	6338285.368
152	356591.541	6338284.917
153	356595.048	6338284.47
154	356598.602	6338284.027
155	356602.212	6338283.592
156	356605.878	6338283.163
157	356609.628	6338282.738
158	356614.135	6338282.254
159	356618.726	6338281.798
160	356623.372	6338281.39
161	356628.045	6338281.049
162	356632.717	6338280.794
163	356637.35	6338280.644
164	356641.934	6338280.618
165	356646.423	6338280.731
166	356650.797	6338281.006

Coordinates ¹		
Vertex	Easting	Northing
167	356655.039	6338281.461
168	356661.259	6338282.546
169	356667.081	6338284.079
170	356672.533	6338286.035
171	356677.615	6338288.388
172	356682.345	6338291.113
173	356686.744	6338294.184
174	356690.821	6338297.576
175	356694.595	6338301.264
176	356698.085	6338305.222
177	356701.291	6338309.423
178	356703.484	6338312.657
179	356705.536	6338316.011
180	356707.446	6338319.488
181	356709.213	6338323.095
182	356710.849	6338326.829
183	356712.342	6338330.695
184	356713.693	6338334.697
185	356714.902	6338338.835
186	356715.979	6338343.113
187	356716.913	6338347.534
188	356717.689	6338351.908
189	356718.361	6338356.38
190	356718.967	6338360.915
191	356720.122	6338370.043
192	356720.737	6338374.564
193	356721.41	6338379.011
194	356722.177	6338383.35
195	356723.068	6338387.545
196	356724.12	6338391.561
197	356725.919	6338396.872
198	356728.079	6338401.796
199	356730.598	6338406.37
200	356733.458	6338410.635
201	356736.648	6338414.624
202	356740.16	6338418.374
203	356743.982	6338421.928
204	356748.097	6338425.314
205	356752.502	6338428.577
206	356757.18	6338431.748
207	356760.131	6338433.63
208	356763.166	6338435.465
209	356766.259	6338437.22
210	356769.409	6338438.868

Coordinates ¹		
Vertex	Easting	Northing
211	356772.589	6338440.379
212	356775.8	6338441.726
213	356779.004	6338442.875
214	356782.202	6338443.8
215	356785.376	6338444.473
216	356788.507	6338444.86
217	356794.858	6338444.699
218	356800.975	6338443.328
219	356806.873	6338440.896
220	356812.552	6338437.552
221	356818.018	6338433.445
222	356823.287	6338428.724
223	356828.367	6338423.535
224	356833.265	6338418.029
225	356837.978	6338412.358
226	356842.534	6338406.662
227	356847.081	6338400.879
228	356851.486	6338395.211
229	356855.75	6338389.638
230	356859.911	6338384.142
231	356863.967	6338378.702
232	356867.958	6338373.295
233	356871.883	6338367.906
234	356875.771	6338362.51
235	356879.641	6338357.091
236	356883.502	6338351.627
237	356887.583	6338345.809
238	356891.674	6338339.933
239	356895.794	6338334.008
240	356899.923	6338328.042
241	356904.063	6338322.048
242	356908.23	6338316.038
243	356912.417	6338310.024
244	356916.612	6338304.016
245	356920.836	6338298.026
246	356925.068	6338292.062
247	356930.1	6338285.066
248	356935.158	6338278.127
249	356940.254	6338271.251
250	356945.404	6338264.439
251	356950.591	6338257.692
252	356955.851	6338251.018
253	356961.166	6338244.417
254	356966.555	6338237.893

Coordinates ¹		
Vertex	Easting	Northing
255	356972.017	6338231.446
256	356977.572	6338225.086
257	356982.345	6338219.748
258	356987.165	6338214.451
259	356992.004	6338209.164
260	356996.824	6338203.864
261	357001.607	6338198.526
262	357006.335	6338193.125
263	357010.972	6338187.638
264	357015.507	6338182.036
265	357019.894	6338176.299
266	357024.125	6338170.398
267	357027.179	6338165.866
268	357030.15	6338161.252
269	357033.056	6338156.577
270	357035.935	6338151.865
271	357038.796	6338147.141
272	357041.665	6338142.425
273	357044.562	6338137.737
274	357047.515	6338133.107
275	357050.55	6338128.551
276	357053.677	6338124.094
277	357057.305	6338119.27
278	357061.061	6338114.587
279	357064.955	6338110.037
280	357068.959	6338105.61
281	357073.064	6338101.291
282	357075.622	6338098.734
283	357077.271	6338097.075
284	357081.56	6338092.95
285	357085.914	6338088.907
286	357090.332	6338084.936
287	357094.795	6338081.026
288	357099.097	6338077.329
289	357103.417	6338073.648
290	357107.709	6338069.955
291	357111.974	6338066.217
292	357116.175	6338062.406
293	357120.293	6338058.492
294	357124.301	6338054.441
295	357127.536	6338050.932
296	357128.181	6338050.226
297	357131.905	6338045.816
298	357135.455	6338041.178

Coordinates ¹		
Vertex	Easting	Northing
299	357139.09	6338035.84
300	357142.477	6338030.208
301	357145.597	6338024.293
302	357148.432	6338018.099
303	357150.963	6338011.644
304	357153.18	6338004.932
305	357155.074	6337997.976
306	357156.626	6337990.783
307	357157.817	6337983.363
308	357158.629	6337975.725
309	357159.053	6337968.431
310	357159.18	6337960.979
311	357159.076	6337953.394
312	357158.768	6337945.699
313	357158.322	6337937.915
314	357157.773	6337930.068
315	357157.17	6337922.175
316	357156.557	6337914.266
317	357156	6337906.36
318	357155.527	6337898.481
319	357155.067	6337887.123
320	357154.839	6337875.839
321	357154.77	6337864.587
322	357154.794	6337853.339
323	357154.847	6337842.054
324	357154.872	6337830.707
325	357154.797	6337819.254
326	357154.555	6337807.668
327	357154.092	6337795.911
328	357153.323	6337783.952
329	357152.513	6337774.826
330	357151.46	6337765.757
331	357150.132	6337756.943
332	357148.481	6337748.581
333	357146.483	6337740.862
334	357144.091	6337733.981
335	357141.282	6337728.138
336	357137.998	6337723.525
337	357134.217	6337720.335
338	357133.604	6337720.112
339	357129.899	6337718.766
340	357126.408	6337718.717
341	357122.626	6337719.477
342	357118.563	6337720.896

Coordinates ¹		
Vertex	Easting	Northing
343	357114.24	6337722.826
344	357109.67	6337725.115
345	357104.863	6337727.617
346	357099.831	6337730.18
347	357094.605	6337732.655
348	357089.167	6337734.891
349	357083.566	6337736.741
350	357079.097	6337737.828
351	357074.539	6337738.63
352	357072.875	6337738.825
353	357069.901	6337739.173
354	357065.201	6337739.497
355	357060.438	6337739.628
356	357055.621	6337739.605
357	357050.769	6337739.456
358	357045.899	6337739.221
359	357041.002	6337738.93
360	357036.096	6337738.613
361	357016.705	6337737.402
362	357011.165	6337737.033
363	357007.108	6337736.763
364	356997.625	6337736.054
365	356988.282	6337735.235
366	356979.12	6337734.268
367	356970.175	6337733.11
368	356961.457	6337731.733
369	356953.023	6337730.087
370	356944.901	6337728.143
371	356934.659	6337725.073
372	356924.937	6337721.49
373	356915.651	6337717.473
374	356906.706	6337713.101
375	356898.036	6337708.456
376	356889.546	6337703.618
377	356881.16	6337698.667
378	356872.794	6337693.677
379	356864.371	6337688.735
380	356855.806	6337683.92
381	356850.137	6337680.884
382	356844.421	6337677.886
383	356838.723	6337674.886
384	356833.073	6337671.84
385	356827.537	6337668.706
386	356822.16	6337665.443

Coordinates ¹		
Vertex	Easting	Northing
387	356816.992	6337662.008
388	356812.079	6337658.359
389	356807.478	6337654.454
390	356803.236	6337650.251
391	356800.775	6337647.447
392	356798.456	6337644.524
393	356796.241	6337641.491
394	356794.121	6337638.355
395	356792.068	6337635.136
396	356790.043	6337631.84
397	356788.039	6337628.48
398	356786.016	6337625.071
399	356783.966	6337621.62
400	356781.851	6337618.141
401	356774.83	6337607.347
402	356767.061	6337596.674
403	356758.604	6337586.383
404	356749.512	6337576.753
405	356739.847	6337568.055
406	356729.659	6337560.557
407	356719.021	6337554.535
408	356707.984	6337550.261
409	356696.6	6337548.003
410	356692.595	6337548.015
411	356684.93	6337548.037
412	356679.71	6337548.84
413	356674.491	6337550.11
414	356669.313	6337551.811
415	356664.204	6337553.916
416	356659.201	6337556.39
417	356654.362	6337559.203
418	356649.714	6337562.321
419	356645.305	6337565.713
420	356641.162	6337569.347
421	356637.335	6337573.188
422	356635.389	6337575.366
423	356633.536	6337577.594
424	356631.767	6337579.864
425	356630.071	6337582.178
426	356628.44	6337584.529
427	356626.865	6337586.913
428	356625.336	6337589.326
429	356623.835	6337591.764
430	356622.361	6337594.223

Coordinates ¹		
Vertex	Easting	Northing
431	356620.896	6337596.7
432	356617.938	6337601.759
433	356614.96	6337606.844
434	356611.936	6337611.922
435	356608.846	6337616.963
436	356605.665	6337621.93
437	356602.364	6337626.796
438	356598.906	6337631.532
439	356595.272	6337636.101
440	356591.446	6337640.473
441	356587.399	6337644.616
442	356580.203	6337650.904
443	356572.436	6337656.603
444	356564.238	6337661.828
445	356555.709	6337666.699
446	356546.978	6337671.329
447	356538.164	6337675.834
448	356529.379	6337680.334
449	356520.751	6337684.942
450	356512.4	6337689.775
451	356504.435	6337694.949
452	356501.709	6337696.895
453	356499.047	6337698.892
454	356496.422	6337700.934
455	356493.815	6337703.015
456	356491.235	6337705.128
457	356488.646	6337707.267
458	356483.439	6337711.596
459	356480.793	6337713.774
460	356478.1	6337715.95
461	356467.177	6337724.255
462	356455.447	6337732.267
463	356442.995	6337739.787
464	356429.89	6337746.619
465	356416.211	6337752.561
466	356402.043	6337757.421
467	356387.445	6337761.002
468	356372.506	6337763.101
469	356357.311	6337763.528
470	356341.909	6337762.078
471	356335.532	6337760.908
472	356329.13	6337759.483
473	356322.712	6337757.892
474	356316.266	6337756.235

Coordinates ¹		
Vertex	Easting	Northing
475	356309.811	6337754.604
476	356303.336	6337753.093
477	356296.839	6337751.797
478	356290.319	6337750.811
479	356283.783	6337750.228
480	356277.221	6337750.143
481	356275.25	6337750.227
482	356271.288	6337750.53
483	356269.296	6337750.733
484	356267.304	6337750.963
485	356265.303	6337751.211
486	356257.194	6337752.253
487	356247.564	6337753.215
488	356237.734	6337753.792
489	356227.799	6337753.936
490	356217.862	6337753.605
491	356208.007	6337752.754
492	356198.346	6337751.337
493	356188.975	6337749.313
494	356179.987	6337746.633
495	356171.485	6337743.256
496	356163.564	6337739.138
497	356156.833	6337734.687
498	356150.547	6337729.805
499	356144.591	6337724.73
500	356138.83	6337719.703
501	356133.14	6337714.96
502	356127.395	6337710.74
503	356121.471	6337707.28
504	356115.225	6337704.819
505	356108.549	6337703.598
506	356101.31	6337703.855
507	356097.136	6337704.571
508	356080.63	6337705.924
509	356064.585	6337704.465
510	356048.835	6337700.71
511	356033.242	6337695.179
512	356017.658	6337688.383
513	356001.936	6337680.843
514	355985.928	6337673.075
515	355969.486	6337665.593
516	355952.454	6337658.915
517	355934.693	6337653.559
518	355927.221	6337651.857

Coordinates ¹		
Vertex	Easting	Northing
519	355919.663	6337650.388
520	355912.064	6337649.08
521	355897.023	6337646.657
522	355889.685	6337645.398
523	355882.545	6337644.013
524	355875.651	6337642.426
525	355869.078	6337640.572
526	355862.874	6337638.371
527	355860.954	6337637.572
528	355859.062	6337636.736
529	355857.189	6337635.87
530	355855.325	6337634.981
531	355853.472	6337634.076
532	355849.718	6337632.24
533	355845.842	6337630.422
534	355843.82	6337629.535
535	355835.893	6337626.488
536	355827.222	6337623.817
537	355817.948	6337621.564
538	355808.209	6337619.778
539	355798.136	6337618.505
540	355787.878	6337617.789
541	355777.564	6337617.681
542	355767.334	6337618.221
543	355757.317	6337619.46
544	355747.644	6337621.442
545	355739.337	6337623.894
546	355731.507	6337626.918
547	355724.248	6337630.446
548	355717.664	6337634.403
549	355711.822	6337638.722
550	355706.815	6337643.33
551	355702.739	6337648.155
552	355699.679	6337653.127
553	355697.718	6337658.175
554	355696.944	6337663.227
555	355699.137	6337673.375
556	355705.629	6337683.3
557	355715.381	6337693.055
558	355727.365	6337702.7
559	355740.555	6337712.285
560	355753.923	6337721.867
561	355766.421	6337731.497
562	355777.023	6337741.236

Coordinates ¹		
Vertex	Easting	Northing
563	355784.7	6337751.138
564	355788.416	6337761.252
565	355788.237	6337768.359
566	355785.947	6337775.517
567	355781.79	6337782.652
568	355776.039	6337789.685
569	355768.936	6337796.539
570	355760.735	6337803.136
571	355751.709	6337809.401
572	355742.091	6337815.254
573	355732.154	6337820.617
574	355722.14	6337825.412
575	355715.855	6337828.139
576	355709.656	6337830.659
577	355703.553	6337833.029
578	355691.687	6337837.523
579	355685.94	6337839.756
580	355680.333	6337842.054
581	355674.883	6337844.463
582	355669.598	6337847.045
583	355664.478	6337849.849
584	355659.739	6337852.784
585	355655.128	6337855.924
586	355650.616	6337859.228
587	355646.16	6337862.645
588	355637.262	6337869.64
589	355632.748	6337873.125
590	355628.142	6337876.539
591	355623.398	6337879.835
592	355618.497	6337882.966
593	355612.613	6337886.333
594	355606.563	6337889.523
595	355600.458	6337892.632
596	355594.4	6337895.761
597	355588.489	6337899.009
598	355582.846	6337902.476
599	355577.571	6337906.259
600	355572.767	6337910.462
601	355568.552	6337915.18
602	355565.019	6337920.516
603	355563.288	6337923.986
604	355561.804	6337927.693
605	355560.514	6337931.616
606	355559.389	6337935.74

Coordinates ¹		
Vertex	Easting	Northing
607	355558.383	6337940.049
608	355557.467	6337944.526
609	355556.596	6337949.155
610	355555.732	6337953.92
611	355554.89	6337958.509
612	355553.859	6337963.796
613	355553.155	6337967.246
614	355552.422	6337970.719
615	355551.022	6337977.644
616	355550.421	6337981.055
617	355549.933	6337984.406
618	355549.586	6337987.679
619	355549.409	6337990.848
620	355549.429	6337993.894
621	355549.694	6337996.799
622	355551.104	6338002.511
623	355553.502	6338007.619
624	355556.664	6338012.275
625	355560.362	6338016.622
626	355564.352	6338020.806
627	355568.398	6338024.974
628	355572.275	6338029.268
629	355575.736	6338033.84
630	355578.566	6338038.832
631	355580.519	6338044.388
632	355581.496	6338051.637
633	355581.284	6338059.65
634	355580.186	6338068.244
635	355578.504	6338077.232
636	355576.539	6338086.431
637	355574.573	6338095.654
638	355572.917	6338104.716
639	355571.855	6338113.434
640	355571.706	6338121.62
641	355572.745	6338129.091
642	355573.777	6338132.493
643	355575.121	6338135.698
644	355576.71	6338138.734
645	355578.469	6338141.63
646	355580.351	6338144.413
647	355586.041	6338152.348
648	355587.74	6338154.945
649	355589.232	6338157.565
650	355592.667	6338168.36

Coordinates ¹		
Vertex	Easting	Northing
651	355592.554	6338179.843
652	355589.5	6338191.935
653	355584.123	6338204.55
654	355577.05	6338217.604
655	355568.898	6338231.023
656	355560.284	6338244.718
657	355551.826	6338258.61
658	355544.151	6338272.612
659	355537.866	6338286.646
660	355537.147	6338288.552
661	355535.849	6338292.379
662	355535.27	6338294.306
663	355534.269	6338298.202
664	355533.857	6338300.18
665	355533.228	6338304.212
666	355533.021	6338306.275
667	355532.803	6338312.183
668	355533.039	6338318.311
669	355533.619	6338324.597
670	355534.42	6338330.994
671	355535.324	6338337.441
672	355536.21	6338343.884
673	355536.965	6338350.272
674	355537.47	6338356.543
675	355537.604	6338362.649
676	355537.246	6338368.528
677	355536.625	6338372.662
678	355535.735	6338376.671
679	355534.632	6338380.571
680	355533.371	6338384.392
681	355532.009	6338388.153
682	355529.21	6338395.579
683	355527.886	6338399.294
684	355526.682	6338403.035
685	355525.665	6338406.828
686	355524.16	6338415.775
687	355523.696	6338425.08
688	355524.077	6338434.725
689	355525.116	6338444.681
690	355526.617	6338454.928
691	355528.385	6338465.44
692	355530.215	6338476.196
693	355531.939	6338487.17
694	355533.334	6338498.338

Coordinates ¹		
Vertex	Easting	Northing
695	355534.231	6338509.677
696	355534.322	6338511.765
697	355534.384	6338513.852
698	355534.428	6338515.936
699	355534.426	6338518.006
700	355534.309	6338522.093
701	355534.186	6338524.102
702	355534.017	6338526.075
703	355533.792	6338528.011
704	355533.522	6338529.908
705	355563.81	6338534.264
706	355669.898	6338549.521
707	355653.124	6338669.041
708	355636.35	6338788.534
709	355468.237	6338764.361
710	355473.844	6338770.985
711	355482.422	6338781.283
712	355487.326	6338787.426
713	355442.354	6338780.96
714	355450.493	6338790.585
715	355458.805	6338800.55
716	355466.927	6338810.724
717	355474.507	6338820.973
718	355481.2	6338831.173
719	355486.645	6338841.192
720	355490.489	6338850.898
721	355492.387	6338860.167
722	355491.979	6338868.864
723	355488.92	6338876.861
724	355487.049	6338879.632
725	355484.843	6338882.331
726	355482.395	6338884.999
727	355479.769	6338887.673
728	355477.049	6338890.395
729	355474.328	6338893.21
730	355471.68	6338896.155
731	355469.178	6338899.272
732	355466.916	6338902.601
733	355464.968	6338906.184
734	355465.601	6338907.562
735	355466.235	6338908.939
736	355466.868	6338910.318
737	355467.501	6338911.699
738	355468.125	6338913.08

Coordinates ¹		
Vertex	Easting	Northing
739	355468.993	6338914.966
740	355469.862	6338916.848
741	355470.73	6338918.736
742	355471.561	6338920.635
743	355472.355	6338922.552
744	355473.432	6338925.451
745	355474.425	6338928.388
746	355475.353	6338931.351
747	355476.224	6338934.33
748	355477.067	6338937.316
749	355477.844	6338940.303
750	355478.556	6338943.308
751	355479.231	6338946.323
752	355479.905	6338949.341
753	355480.598	6338952.351
754	355481.302	6338955.3
755	355482.005	6338958.249
756	355482.718	6338961.196
757	355483.421	6338964.144
758	355484.134	6338967.093
759	355484.707	6338969.389
760	355485.299	6338971.679
761	355485.891	6338973.972
762	355486.417	6338976.274
763	355486.85	6338978.591
764	355487.241	6338981.788
765	355487.319	6338982.86
766	355487.474	6338985.016
767	355487.594	6338988.257
768	355487.594	6338988.259
769	355487.649	6338991.508
770	355487.713	6338994.749
771	355487.754	6338997.039
772	355487.748	6338999.327
773	355487.757	6338999.331
774	355487.742	6339001.617
775	355487.746	6339003.907
776	355487.787	6339006.197
777	355487.891	6339008.018
778	355487.891	6339008.021
779	355488.041	6339009.848
780	355488.041	6339009.859
781	355488.182	6339011.674
782	355488.258	6339013.493

Coordinates ¹		
Vertex	Easting	Northing
783	355488.203	6339015.303
784	355487.859	6339017.782
785	355487.29	6339020.246
786	355486.572	6339022.698
787	355485.789	6339025.136
788	355485.789	6339025.141
789	355485.035	6339027.569
790	355484.231	6339030.155
791	355483.371	6339032.726
792	355482.484	6339035.286
793	355481.578	6339037.843
794	355480.681	6339040.4
795	355479.424	6339043.974
796	355478.157	6339047.543
797	355476.872	6339051.107
798	355475.578	6339054.666
799	355474.265	6339058.219
800	355430.823	6339049.207
801	355431.334	6339035.497
802	355431.844	6339021.789
803	355432.373	6339008.084
804	355432.921	6338994.388
805	355433.487	6338980.698
806	355434.09	6338967.018
807	355434.731	6338953.351
808	355435.418	6338939.697
809	355436.151	6338926.059
810	355436.95	6338912.439
811	355406.717	6338958.67
812	355406.358	6338907.672
813	355413.213	6338797.484
814	355384.111	6338766.488
815	355088.71	6338812.032
816	355080.33	6338822.454
817	355076.126	6338827.686
818	355071.304	6338833.685
819	355077.38	6338839.504
820	355086.255	6338847.995
821	355120.242	6338873.751
822	355158.717	6338902.9
823	355095.724	6338985.464
824	355100.718	6339019.034
825	355019.597	6339031.162
826	354999.703	6339034.136

Coordinates ¹		
Vertex	Easting	Northing
827	354949.398	6339055.461
828	354914.031	6339100.776
829	354903.507	6339161.362
830	354918.454	6339213.79
831	354957.362	6339261.672
832	355021.02	6339258.656
833	355032.172	6339252.737
834	355051.022	6339242.743
835	355086.915	6339223.704
836	355127.205	6339197.814
837	355168.759	6339160.845
838	355267.779	6339044.49
839	355310.268	6339070.545
840	355335.245	6339079.353
841	355365.957	6339088.034
842	355379.99	6339067.128
843	355381.77	6339068.045
844	355382.214	6339068.272
845	355382.659	6339068.495
846	355383.104	6339068.719
847	355384.003	6339069.166
848	355384.457	6339069.386
849	355384.902	6339069.61
850	355385.357	6339069.825
851	355385.802	6339070.044
852	355386.256	6339070.26
853	355387.61	6339070.903
854	355388.973	6339071.534
855	355389.882	6339071.95
856	355390.336	6339072.154
857	355390.791	6339072.363
858	355391.254	6339072.566
859	355391.709	6339072.765
860	355392.627	6339073.171
861	355393.537	6339073.568
862	355394.928	6339074.153
863	355395.847	6339074.537
864	355396.775	6339074.921
865	355397.23	6339075.109
866	355398.167	6339075.484
867	355398.631	6339075.668
868	355399.096	6339075.848
869	355399.56	6339076.033
870	355400.952	6339076.576

Coordinates ¹		
Vertex	Easting	Northing
871	355401.426	6339076.753
872	355401.89	6339076.929
873	355402.828	6339077.279
874	355403.766	6339077.625
875	355404.24	6339077.795
876	355405.178	6339078.133
877	355406.125	6339078.467
878	355406.599	6339078.632
879	355407.546	6339078.959
880	355408.011	6339079.12
881	355408.494	6339079.281
882	355408.968	6339079.439
883	355409.915	6339079.754
884	355410.863	6339080.065
885	355411.337	6339080.219
886	355413.252	6339080.818
887	355414.683	6339081.256
888	355415.166	6339081.397
889	355416.124	6339081.682
890	355421.386	6339083.221
891	355463.912	6339091.639
892	355463.37	6339093.635
893	355462.827	6339095.632
894	355462.244	6339097.787
895	355461.661	6339099.942
896	355461.06	6339102.093
897	355460.468	6339104.244
898	355459.857	6339106.392
899	355459.434	6339107.268
900	355458.991	6339108.138
901	355458.54	6339109
902	355458.07	6339109.852
903	355457.581	6339110.696
904	355455.46	6339113.957
905	355453.052	6339117.083
906	355450.412	6339120.055
907	355447.607	6339122.857
908	355444.684	6339125.464
909	355441.812	6339127.699
910	355438.766	6339129.748
911	355435.61	6339131.656
912	355432.4	6339133.467
913	355429.171	6339135.227
914	355426.592	6339136.63

Coordinates ¹		
Vertex	Easting	Northing
915	355423.995	6339138.01
916	355421.37	6339139.323
917	355418.701	6339140.528
918	355415.978	6339141.584
919	355413.763	6339142.321
920	355411.503	6339142.98
921	355409.226	6339143.562
922	355406.931	6339144.063
923	355404.628	6339144.48
924	355402.632	6339144.938
925	355399.253	6339145.533
926	355395.782	6339145.99
927	355392.201	6339146.316
928	355388.547	6339146.528
929	355384.811	6339146.641
930	355381.001	6339146.662
931	355377.127	6339146.607
932	355373.189	6339146.497
933	355369.195	6339146.336
934	355365.127	6339146.141
935	355361.049	6339145.95
936	355356.999	6339145.798
937	355353.014	6339145.725
938	355349.138	6339145.765
939	355345.391	6339145.956
940	355341.838	6339146.337
941	355338.486	6339146.942
942	355335.392	6339147.813
943	355332.592	6339148.982
944	355330.775	6339150.025
945	355329.086	6339151.205
946	355327.499	6339152.491
947	355325.975	6339153.84
948	355324.489	6339155.222
949	355322.994	6339156.597
950	355321.452	6339157.93
951	355319.846	6339159.181
952	355318.121	6339160.321
953	355316.257	6339161.308
954	355314.585	6339161.987
955	355312.812	6339162.559
956	355310.956	6339163.036
957	355309.018	6339163.431
958	355307.015	6339163.773

Coordinates ¹		
Vertex	Easting	Northing
959	355304.984	6339164.065
960	355302.917	6339164.336
961	355300.84	6339164.596
962	355298.773	6339164.858
963	355296.733	6339165.147
964	355289.148	6339166.631
965	355282.106	6339168.685
966	355275.569	6339171.268
967	355269.511	6339174.344
968	355263.885	6339177.871
969	355258.663	6339181.818
970	355253.8	6339186.14
971	355249.268	6339190.808
972	355245.021	6339195.773
973	355241.041	6339201.008
974	355236.785	6339207.2
975	355232.75	6339213.616
976	355228.853	6339220.179
977	355225.038	6339226.817
978	355221.224	6339233.464
979	355217.345	6339240.044
980	355213.338	6339246.486
981	355209.119	6339252.719
982	355204.633	6339258.674
983	355199.816	6339264.278
984	355195.134	6339268.989
985	355190.176	6339273.423
986	355185.025	6339277.653
987	355179.745	6339281.744
988	355174.401	6339285.768
989	355169.066	6339289.803
990	355163.813	6339293.915
991	355158.699	6339298.172
992	355153.796	6339302.65
993	355149.188	6339307.418
994	355147.146	6339309.774
995	355145.168	6339312.201
996	355143.273	6339314.7
997	355141.433	6339317.27
998	355139.657	6339319.91
999	355137.946	6339322.611
1000	355136.28	6339325.369
1001	355134.67	6339328.182
1002	355133.106	6339331.051

Coordinates ¹		
Vertex	Easting	Northing
1003	355131.587	6339333.971
1004	355130.578	6339335.949
1005	355129.559	6339337.91
1006	355128.503	6339339.831
1007	355127.374	6339341.677
1008	355126.144	6339343.411
1009	355124.776	6339345.003
1010	355123.261	6339346.423
1011	355121.534	6339347.636
1012	355119.597	6339348.607
1013	355117.42	6339349.312
1014	355115.707	6339349.627
1015	355113.883	6339349.815
1016	355111.959	6339349.88
1017	355109.942	6339349.842
1018	355107.862	6339349.723
1019	355105.736	6339349.535
1020	355103.583	6339349.294
1021	355101.411	6339349.02
1022	355099.249	6339348.724
1023	355097.115	6339348.43
1024	355093.975	6339348.006
1025	355090.928	6339347.612
1026	355087.945	6339347.247
1027	355085.046	6339346.907
1028	355082.203	6339346.582
1029	355079.407	6339346.279
1030	355076.657	6339345.988
1031	355073.934	6339345.707
1032	355071.231	6339345.432
1033	355068.536	6339345.162
1034	355079.577	6339414.28
1035	355098.627	6339533.454
1036	355117.678	6339652.623
1037	355469.612	6339596.48
1038	355494.695	6339592.478
1039	355550.242	6339583.617
1040	355550.702	6339580.953
1041	355551.152	6339578.288
1042	355555.778	6339551.395
1043	355560.395	6339524.504
1044	355576.358	6339431.622
1045	355525.521	6339425.709
1046	355531.916	6339389.628

Coordinates ¹		
Vertex	Easting	Northing
1047	355583.099	6339392.407
1048	355586.53	6339372.449
1049	355535.45	6339369.686
1050	355540.574	6339340.76
1051	355540.938	6339340.703
1052	355544.349	6339320.883
1053	355547.76	6339301.062
1054	355551.162	6339281.239
1055	355554.572	6339261.417
1056	355557.983	6339241.597
1057	355563.591	6339208.953
1058	355612.134	6339223.461
1059	355612.676	6339220.288
1060	355560.59	6339204.72
1061	355565.736	6339187.531
1062	355578.941	6339191.213
1063	355583.743	6339175.155
1064	355603.4	6339181.31
1065	355618.998	6339183.498
1066	355625.758	6339144.186
1067	355633.831	6339148.885
1068	355644.31	6339154.984
1069	355630.37	6339236.073
1070	355629.135	6339243.258
1071	355624.978	6339267.451
1072	355641.776	6339272.46
1073	355665.816	6339279.628
1074	355663.172	6339294.965
1075	355681.259	6339297.429
1076	355742.508	6339305.77
1077	355762.31	6339308.467
1078	355765.526	6339309.428
1079	355764.542	6339316.651
1080	355761.361	6339339.956
1081	355778.057	6339355.092
1082	355781.088	6339357.84
1083	355792.598	6339368.211
1084	355800.836	6339375.636
1085	355806.189	6339380.467
1086	355821.053	6339393.871
1087	355843.279	6339413.904
1088	355850.965	6339420.836
1089	355884.52	6339383.555
1090	355885.393	6339382.592

Coordinates ¹		
Vertex	Easting	Northing
1091	355897.437	6339393.442
1092	355898.88	6339391.848
1093	355916.729	6339407.919
1094	355921.333	6339402.81
1095	355936.261	6339416.278
1096	355951.189	6339429.749
1097	355947.81	6339433.509
1098	355926.263	6339457.429
1099	355910.715	6339474.699
1100	355932.692	6339494.515
1101	355940.58	6339501.63
1102	355942.156	6339503.049
1103	355937.149	6339540.083
1104	355937.521	6339540.138
1105	355938.22	6339540.27
1106	355938.908	6339540.439
1107	355939.577	6339540.644
1108	355940.246	6339540.883
1109	355940.896	6339541.158
1110	355941.535	6339541.466
1111	355942.156	6339541.808
1112	355942.748	6339542.18
1113	355943.33	6339542.582
1114	355943.894	6339543.016
1115	355944.428	6339543.479
1116	355944.935	6339543.968
1117	355945.339	6339544.397
1118	355945.422	6339544.484
1119	355945.872	6339545.023
1120	355946.302	6339545.587
1121	355946.695	6339546.172
1122	355947.069	6339546.776
1123	355947.396	6339547.399
1124	355947.704	6339548.039
1125	355947.965	6339548.694
1126	355948.198	6339549.361
1127	355948.394	6339550.041
1128	355948.561	6339550.728
1129	355948.681	6339551.423
1130	355948.764	6339552.125
1131	355948.819	6339552.831
1132	355948.837	6339553.537
1133	355932.958	6339571.07
1134	355925.763	6339624.135

Coordinates ¹		
Vertex	Easting	Northing
1135	355923.302	6339642.269
1136	355920.59	6339662.217
1137	355917.879	6339682.168
1138	355915.157	6339702.123
1139	355912.436	6339722.083
1140	355909.706	6339742.043
1141	355901.412	6339803.13
1142	355898.784	6339822.451
1143	355896.093	6339842.266
1144	355893.475	6339861.547
1145	355888.721	6339896.529
1146	355885.36	6339921.299
1147	355874.564	6340000.771
1148	355974.222	6340014.312
1149	356089.192	6340029.935

Coordinates ¹		
Vertex	Easting	Northing
1150	356060.937	6340102.361
1151	355678.579	6340204.001
1152	355705.062	6340481.788
1153	355712.114	6340526.706
1154	355483.378	6340566.356
1155	355492.821	6340625.715
1156	355502.256	6340685.073
1157	355277.225	6340723.274
1158	355279.994	6340740.685
1159	355286.602	6340781.992
1160	355288.97	6340796.823
1161	355314.438	6340956.788
1162	354491.441	6341991.245
1163	354446.385	6342047.958
1164	354351.202	6342167.55

¹ Coordinate reference system is MGA 56

**SCHEDULE F – AREA OF OPERATIONS – DRINKING WATER RETICULATION AND
SEWERAGE SERVICES INFRASTRUCTURE**

Table F.1 Vertices for area of operation

Coordinates ¹			Coordinates ¹		
Vertex	Easting	Northing	Vertex	Easting	Northing
1	354351.202	6342167.55	40	356472.252	6340901.686
2	354514.692	6342139.48	41	356465.966	6340857.134
3	354592.036	6342126.211	42	356518.25	6340853.471
4	355263.261	6342010.852	43	356522.239	6340734.066
5	355299.057	6342004.699	44	356521.267	6340708.562
6	355457.953	6341977.432	45	356511.592	6340653.776
7	355476.118	6341974.262	46	356628.492	6340635.63
8	355928.178	6341895.744	47	356663.771	6340597.367
9	355947.934	6341892.376	48	356656.201	6340553.09
10	355853.373	6341292.557	49	356655.421	6340548.975
11	356025.753	6341261.302	50	356518.744	6340571.539
12	356035.744	6341259.492	51	356517.393	6340564.916
13	356035.744	6341259.492	52	356511.02	6340529.497
14	356150.057	6341238.764	53	356509.328	6340520.087
15	356154.466	6341287.101	54	356508.144	6340512.92
16	356150.397	6341292.015	55	356507.647	6340509.879
17	356230.926	6341284.356	56	356473.232	6340515.876
18	356234.995	6341279.435	57	356459.461	6340518.274
19	356251.894	6341277.87	58	356457.642	6340507.902
20	356256.765	6341281.96	59	356425.193	6340513.556
21	356403.679	6341268.302	60	356392.735	6340519.209
22	356407.748	6341263.377	61	356378.973	6340521.608
23	356424.694	6341261.757	62	356314.239	6340533.244
24	356429.593	6341265.824	63	356314.179	6340540.351
25	356484.442	6341260.581	64	356255.557	6340549.401
26	356488.511	6341255.657	65	356241.003	6340473.322
27	356505.457	6341254.038	66	356251.795	6340469.873
28	356498.096	6341175.733	67	356238.394	6340391.931
29	356649.645	6341148.313	68	356228.412	6340393.983
30	356774.359	6341125.628	69	356218.483	6340342.249
31	356976.796	6341088.994	70	356253.676	6340334.913
32	356953.354	6340941.979	71	356249.597	6340308.5
33	356933.899	6340819.976	72	356308.787	6340296.974
34	356697.067	6340862.109	73	356297.856	6340238.541
35	356717.346	6340981.24	74	356313.647	6340235.975
36	356698.489	6340984.596	75	356329.672	6340233.37
37	356547.095	6340995.2	76	356345.706	6340230.766
38	356538.803	6340910.934	77	356361.74	6340228.161
39	356473.609	6340915.5	78	356377.774	6340225.556

Coordinates ¹		
Vertex	Easting	Northing
79	356373.42	6340204.076
80	356370.51	6340204.431
81	356294.047	6340216.855
82	356271.293	6340220.551
83	356255.643	6340195.055
84	356235.132	6340161.656
85	356281.62	6340098.924
86	356320.705	6340027.191
87	356341.037	6340032.67
88	356370.51	6340204.431
89	356373.42	6340204.076
90	356363.245	6340144.607
91	356353.07	6340085.137
92	356332.72	6339966.2
93	356323.68	6339976.503
94	356287.552	6339941.527
95	356269.488	6339924.042
96	356251.424	6339906.549
97	356139.306	6340022.406
98	356132.106	6339947.433
99	356089.208	6339500.483
100	356087.789	6339499.202
101	356102.181	6339485.034
102	356108.883	6339477.55
103	356137.009	6339446.173
104	356191.06	6339385.868
105	356146.496	6339345.677
106	356101.721	6339305.283
107	356018.411	6339397.769
108	356004.08	6339423.674
109	356005.942	6339425.349
110	356007.794	6339427.023
111	356022.722	6339440.491
112	356037.65	6339453.962
113	356052.579	6339467.432
114	356067.507	6339480.903
115	356000.322	6339555.491
116	355985.394	6339542.025
117	355970.456	6339528.561
118	355965.166	6339523.792
119	355955.518	6339515.096
120	355942.156	6339503.049
121	355937.149	6339540.083
122	355937.521	6339540.138

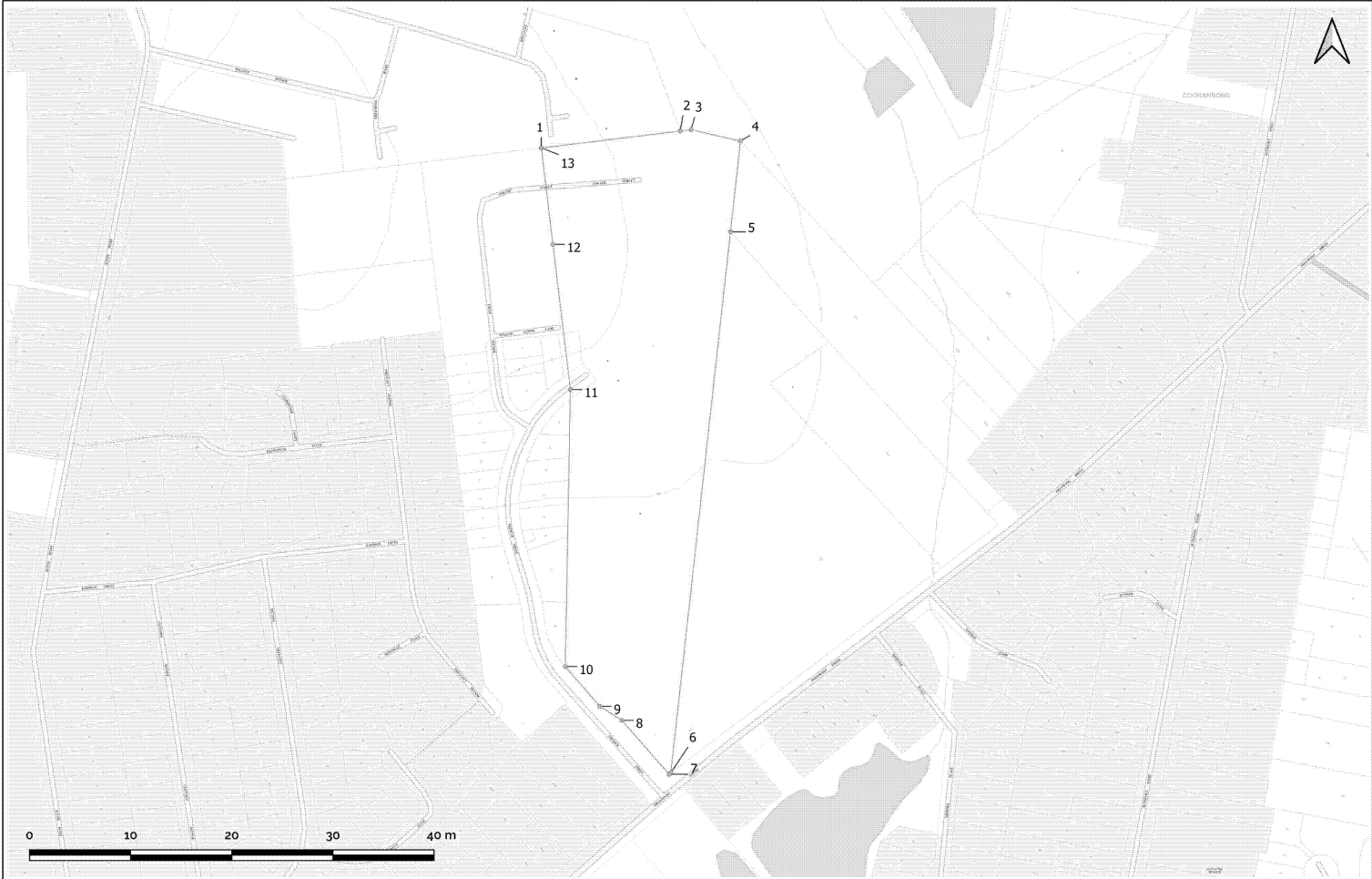
Coordinates ¹		
Vertex	Easting	Northing
123	355938.22	6339540.27
124	355938.908	6339540.439
125	355939.577	6339540.644
126	355940.246	6339540.883
127	355940.896	6339541.158
128	355941.535	6339541.466
129	355942.156	6339541.808
130	355942.748	6339542.18
131	355943.33	6339542.582
132	355943.894	6339543.016
133	355944.428	6339543.479
134	355944.935	6339543.968
135	355945.339	6339544.397
136	355945.422	6339544.484
137	355945.872	6339545.023
138	355946.302	6339545.587
139	355946.695	6339546.172
140	355947.069	6339546.776
141	355947.396	6339547.399
142	355947.704	6339548.039
143	355947.965	6339548.694
144	355948.198	6339549.361
145	355948.394	6339550.041
146	355948.561	6339550.728
147	355948.681	6339551.423
148	355948.764	6339552.125
149	355948.819	6339552.831
150	355948.837	6339553.537
151	355932.958	6339571.07
152	355925.763	6339624.135
153	355923.302	6339642.269
154	355920.59	6339662.217
155	355917.879	6339682.168
156	355915.157	6339702.123
157	355912.436	6339722.083
158	355909.706	6339742.043
159	355901.412	6339803.13
160	355898.784	6339822.451
161	355896.093	6339842.266
162	355893.475	6339861.547
163	355888.721	6339896.529
164	355885.36	6339921.299
165	355874.564	6340000.771
166	355974.222	6340014.312

Coordinates ¹		
Vertex	Easting	Northing
167	356089.192	6340029.935
168	356060.937	6340102.361
169	355678.579	6340204.001
170	355705.062	6340481.788
171	355712.114	6340526.706
172	355483.378	6340566.356
173	355492.821	6340625.715
174	355502.256	6340685.073

Coordinates ¹		
Vertex	Easting	Northing
175	355277.225	6340723.274
176	355279.994	6340740.685
177	355286.602	6340781.992
178	355288.97	6340796.823
179	355314.438	6340956.788
180	354491.441	6341991.245
181	354446.385	6342047.958
182	354351.202	6342167.55

¹ Coordinate reference system is MGA 56

SCHEDULE G – AREA OF OPERATIONS – MAPS

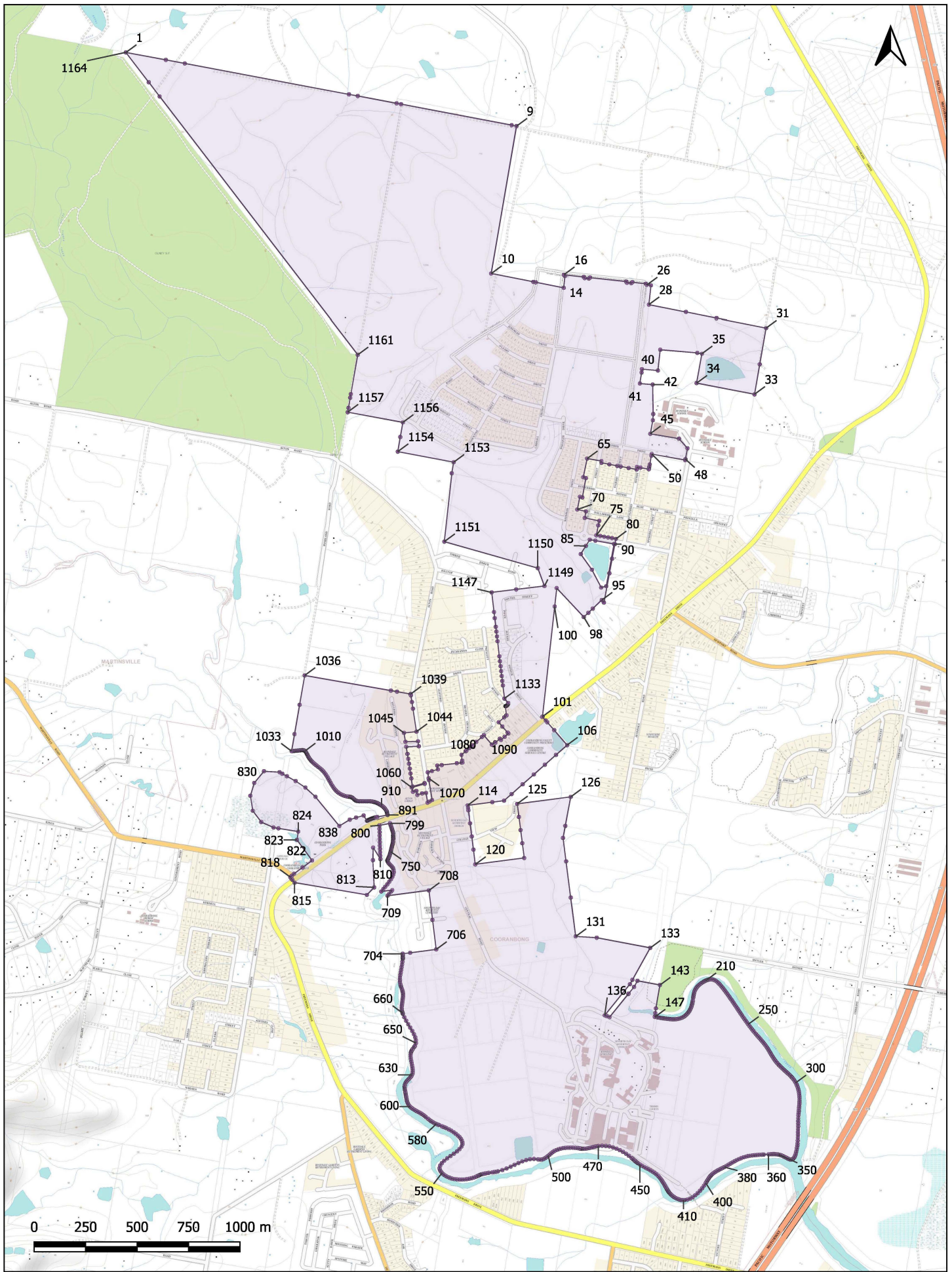


SCHEDULE G - MAP 1 - COORANBONG WATER - Area of operations - Non-potable water and sewage treatment infrastructure

Date created: 28 February 2020
Version: 1.0

LICENCE DETAILS:
Licence Number: 15_033
Licence Type: Network Operator's Licence
Licensee: Coorانبong Water Pty Ltd (ACN 169 450 453)

LEGEND
• Vertex of area of operation
— Boundary of area of operation



SCHEDULE G - MAP 2 - COORANBONG WATER - Area of Operations - Non-potable water network infrastructure

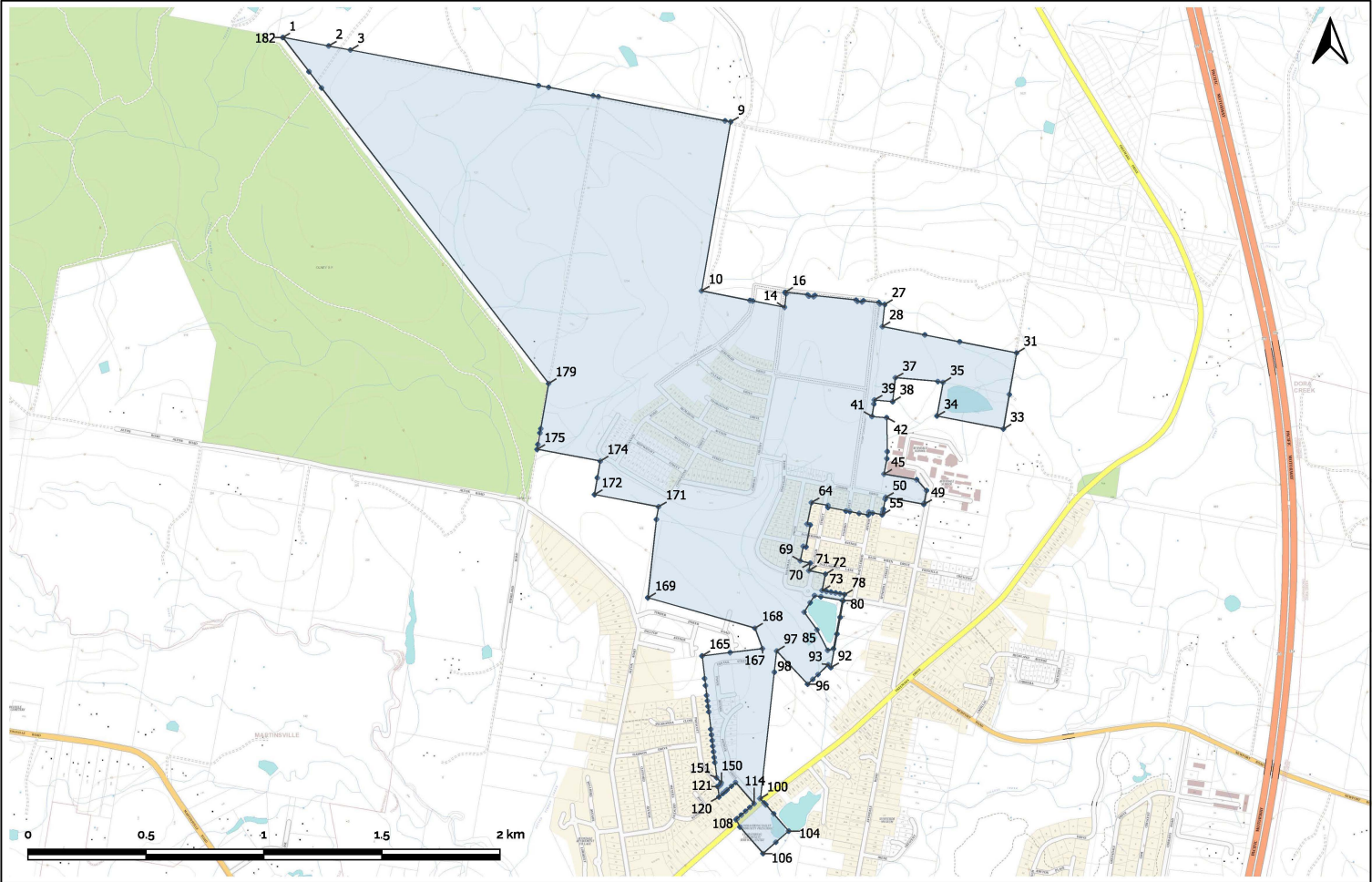
Date created: 4 March 2020
Version: 1.0

LEGEND

- Licensed area
- Recycled Water boundary
- Recycled water vertices

LICENCE DETAILS:




Licence Number: 15_033
Licence Type: Network Operator's Licence
Licensee: Cooranbong Water Pty Ltd (ACN 169 450 453)



SCHEDULE 6 - MAP 3 - COORANBONG WATER - Area of Operations - Drinking water and sewerage network

Date created: 5 March 2020
Version: 1.0

LEGEND

-  Licensed Area
-  Drinking water & sewerage boundary
-  Drinking water & sewerage vertices

LICENCE DETAILS:

Licence Number: 15_033
Licence Type: Network Operator's Licence
Licensee: Cooranbong Water Pty Ltd (ACN 169 450 453)



New South Wales

Water Industry Competition Act 2006

Notice of approval to bring new infrastructure into commercial operation

The Independent Pricing and Regulatory Tribunal of NSW (the **Tribunal**) approves Cooranbong Water Pty Ltd (ACN 169 450 453) (**Cooranbong Water**) to bring into commercial operation, all new infrastructure which:

1. is infrastructure to which Cooranbong Water's network operator's licence (licence no. 15_033) (**Licence**) applies;
2. existed as at 9 October 2020; and
3. is of the kind described in each of Table 3.2 (1) of the Licence.

The Tribunal has considered the request from Cooranbong Water for this approval, as well as the following report, which was prepared by an 'approved auditor' within the meaning of the Regulation: "New Infrastructure Audit Cooranbong Recycled Water Scheme", dated 17 November 2020 (included as **Attachment A**).

The Tribunal is satisfied that the report indicates that the new infrastructure:

1. complies with the requirements of the *Water Industry Competition (General) Regulation 2008* (NSW) (**Regulation**) and the conditions of the Licence; and
2. is capable of operating safely and in accordance with Cooranbong Water's infrastructure operating plan and water quality plan.

The Tribunal grants this approval under clause 2 of Schedule 1 to the Regulation, as a delegate of the Minister administering the *Water Industry Competition Act 2006*. The Minister's functions under that clause were delegated to the Tribunal with effect from 28 February 2019.

26/11/2020

X 

Deborah Cope

Acting Chair

Signed by: Deborah Cope



5 August 2021

JOHNSON PROPERTY GROUP PTY LIMITED
PO Box 288
MORISSET NSW 2264

Development Application Notice of Determination

Issued under the Environmental Planning and Assessment Act 1979
Sections 4.16, 4.17 & 4.18 (1)(a)

Development Application No: DA/2234/2017

Property Address: Lot 82 DP 1237780, Lot 8450 DP 1250919, Lot 621 DP 1202855, Lot 51 DP 1259976, Lot 52 DP 1259976, Lot 100 DP 1270571
8 Rosendahl Road, 35 McCullough Street, 11 Whistler Drive, 125 Alton Road, COORANBONG NSW 2265, 123 Alton Road, 42 Maguire Drive, COORANBONG NSW 2265

Description of Development: Precinct North B, C & D And Precinct South B & C - 6 Into 399 Lot Subdivision In 18 Stages Plus 1 Future Park Lot, 5 Drainage Reserves, 2 Future Environmental Lots And Associated Works

Determination: Approved

Determination Date: 5 August 2021

Consent to operate from: 5 August 2021

Consent to lapse on: 5 August 2026

Conditions of Consent

(Approved subject to the conditions specified in this notice and in accordance with the stamped approved plans.)

Reason for the Imposition of Conditions

The reason for the imposition of the following conditions shall ensure, to Council's satisfaction, the objects of the *Environmental Planning and Assessment Act 1979* (as amended) are achieved:

To encourage:

- a) The proper management, development and conservation of natural and artificial resources, including agricultural land, natural areas, forest, minerals, water, cities, towns, and villages for the purpose of promoting the social and economic welfare of the community and a better environment;
 - i. The promotion and co-ordination of the orderly and economic use of development of land;
 - ii. The protection, provision, and co-ordination of communication and utility services;
 - iii. The provision of land for public purposes;
 - iv. The provision and co-ordination of community services and facilities;
 - v. The protection of the environment, including the protection and conservation of native animals and plants including threatened species, populations, and ecological communities and their habitats;
 - vi. Ecologically Sustainable Development; and
 - vii. The provision and maintenance of affordable housing.
- b) To promote the sharing of the responsibility for environmental planning between the different levels of government in the State.
- c) To provide increased opportunity for public involvement and participation in environmental planning and assessment.

Administrative Conditions

1. The Approved Development and Compliance with Conditions

The approval comprises the application, the plans, and the documents set out in the paragraph below and the conditions of consent. The proposed development may only proceed in accordance with these documents.

The development shall be carried out in accordance with the conditions of consent and the following documents (as may be varied by the conditions of consent):-

- a) Statement of Environmental Effects by ADW Johnson (dated 23/11/2017)
- b) Letter of Amended Particulars by ADW Johnson (dated 26 April 2021)
- c) Lot Layout by ADW Johnson (Ref: 239078(40), dated 06/04/2021)
- d) Stormwater Management Plan by ADW Johnson (November 2017)
- e) Preliminary Geotechnical Investigation by EP Risk (Ref: EP0672.002, dated 20 November 2017)

- f) Preliminary Site Investigation by EP Risk (Ref: EP0672.001, dated 23 November 2017)
- g) Bushfire Threat Assessment by MJD Environmental (Ref: 16001, dated 22/11/2017)
- h) Concept Engineering Plans by ADW Johnson (Ref: 239078(40)S, dated 23/11/2017)
- i) Satisfactory Arrangements Certificate by Planning & Environment department of NSW Government (Ref: IRF18/566, dated 16/02/2018)
- j) Notice under clause 6.2 of Lake Macquarie Local Environment Plan regarding Cooranbong Water's capacity to service 590 standard residential lots and medium density parcel of the Watagan Park development, Cooranbong by Cooranbong Water (dated 7 August 2020)

It is the responsibility of the person having the benefit of the consent to meet all expenses incurred in undertaking the development including expenses incurred in complying with conditions imposed by this consent.

It is the responsibility of the person having the benefit of the consent to provide all compliance certificates, documentation and other evidence to verify that the conditions and requirements imposed by this consent have been complied with.

General Conditions

The person having the benefit of the consent shall comply with each of the following conditions.

2. Voluntary Planning Agreement - Subdivision

A Planning Agreement exists between Council of the City of Lake Macquarie and Johnson Property Group Pty Limited dated 7 June 2021. Prior to the issue of each Subdivision Certificate, all relevant provisions of the Planning Agreement shall be complied with to the satisfaction of Council. A development contribution has not been imposed in accordance with Clause 12 of the Planning Agreement.

The person entitled to the benefit of the consent should read and be aware of the contents and requirements of the Planning Agreement. A copy can be inspected at Council's Administration Building located at 126 – 138 Main Road, Speers Point by contacting Council's Development Contributions Section or on Council's website.

Conditions to be satisfied prior to the issue of the Subdivision Works Certificate

The person having the benefit of the consent shall comply with each of the following conditions prior to the issue of the Subdivision Works Certificate.

Any documentation required to be submitted for the Subdivision Works Certificate shall be submitted to the Certifying Authority unless otherwise specified.

3. Erosion Controls

An Erosion and Sediment Control Plan (ESCP) or Soil and Water Management Plan (SWMP) shall be prepared in accordance with *Development Control Plan 2014 and Guidelines*. The plan shall include plans and full calculations for all erosion and sediment control measures. The plan shall be submitted to Council for approval.

The plan shall be accompanied by a Statement of Compliance to certify that:

- a) The plan has been developed by an appropriately qualified and experienced professional in erosion and sediment control;
- b) The plan complies with the requirements for the area of disturbance as per *Development Control Plan 2014*;
- c) The plan and associated documents, calculations and drawings, have been prepared to a standard which, if properly implemented, shall achieve the water release criteria of 50mg/L of Total Suspended Solids (TSS); and
- d) All erosion and sediment control measures are in accordance with *Development Control Plan 2014*.

4. Preservation of Trees

A plan showing the location of trees and vegetation to be removed and the location of trees and vegetation to be retained shall be submitted. Trees and other vegetation shall only be removed from the site of road, drainage, bushfire mitigation and regrading works or areas approved by Council.

5. Landscaping works

A landscaping plan shall be prepared in accordance with the requirements of *Development Control Plan 2014 and Guidelines*.

Landscaping of drainage basin(s) in the relevant stage shall be included in the plan set.

Street trees shall be a minimum of 75 litre pot size and be protected by Council's standard tree guard (or approved equivalent).

The turf species used on all roadway landscapes and any other approved locations on public land shall be couch. This turf species shall be specified on all landscape concept and construction documentation.

The landscaping plan shall be submitted to Council for approval as a part of the Subdivision Works Certificate application.

6. Gross Pollutant Trap

A design shall be submitted to Council for Gross Pollutant Traps. The design shall be in accordance with the requirements of *Development Control Plan 2014 and associated Guidelines*. Provision shall be made for maintenance access roads and maintenance vehicle parking.

An Operation and Maintenance Plan for the Gross Pollutant Traps shall be submitted. The Operation and Maintenance Plan shall be in accordance with the *Stormwater Quality Improvement Device (SQID) Guidelines*.

7. Water Quality Control Facilities

A design shall be submitted for permanent Stormwater Quality Facilities generally in accordance with the design and plans prepared by ADW Johnson. The design shall be prepared in accordance with the requirements of *Development Control Plan 2014 and Guidelines*.

The design shall include details of the extent and location of fencing, provide details of maintenance access and details of landscaping and species for the facility and its surrounds.

The plans for the facility shall detail the construction stages, i.e. the plans shall detail the design of the facility as a sediment basin and the plans shall detail the design of the facility in its final form.

An Operation and Maintenance Plan prepared in accordance with *Stormwater Quality Improvement Device (SQID) Guidelines* shall be submitted for approval.

Construction sequencing for the Stormwater Quality Facilities shall be as follows:-

- a) Phase 1 – The facility shall be constructed to operate as a sediment basin initially. All final inlet and outlet structures shall be installed at this stage (unless alternate arrangements have been agreed by Council). The facility shall be maintained as a sediment basin until 80% of the lots draining to it have had housing constructed or a period of two years has passed since the release of the Subdivision Certificate.
- b) Phase 2 – A bond or bank guarantee shall be lodged with Council for the works to complete the SQID. The bond or guarantee shall be to the value determined in accordance with *Subdivision Bonds and Guarantees Policy* and shall have regard to the value of the capital of the landscaping works and 2 years maintenance.
- c) Phase 3 – Once the catchment has been substantially developed (80% of the lots or two years whichever is the lesser), the sediment basin shall be decommissioned and the final approved facility constructed and landscaped.

8. Roadways and Drainage Works Standards

All works for the development shall be designed and constructed in accordance with the following publications (as amended or updated), as applicable:-

- a) *Australian Rainfall and Runoff, 2019.*
- b) *Development Control Plan 2014* and supporting guidelines.
- c) *AUSTROADS Guide to Road Design Guide.*
- d) *Roads and Maritime Services Delineation Guidelines.*
- e) *Managing Urban Stormwater documents (2004)* by Landcom.
- f) *The Constructed Wetlands Manual* - Department of Land and Water Conservation, 1998.
- g) *WSUD Technical Design Guidelines for South East Queensland.*
- h) *Healthy Waterways – Water by Design* Guidelines.
- i) Australian Standards including, but not limited to:-
 - i. *AS1428 - Design for Access and Mobility, Part 1 General Requirements for Access and Part 4 Tactile Indicators,*
 - ii. *AS2890 - Off Street Parking*

Where any inconsistency exists between these documents the relevant standard to be adopted shall be verified in writing with Council.

9. Show Lots Clear of 100 Year Flood Level

Stormwater designs and calculations shall be submitted to show that all lots are clear of the 1:100 year flood level. This condition shall also apply to lots which would be affected by substantial overland flow, which may necessitate the carrying out of works to ensure properly drained and flood free conditions.

Note: Lots that are not 500mm clear of the 1:100 year flood level shall be subject to floor height control and shall be identified as Flood Control Lots.

10. Stormwater Detention Required

Stormwater designs and calculations shall be submitted to Council to show that the development does not increase the peak stormwater discharge or limits of upstream and downstream flooding for floods over the range of 1:1 years to 1:100 years by the inclusion of stormwater detention controls. Designs shall incorporate maintenance access roads and fencing in accordance with Council's standard requirements.

11. Disposal of Stormwater to a Watercourse or Council Easement

Stormwater shall be disposed of to either an existing Council drainage system or natural watercourse.

Where stormwater works are located on private property, that is not part of the development site, written authority shall be obtained from the land owner for the works and for the subsequent creation of an easement. The written authority to discharge stormwater across the property and agreement to create an easement for drainage shall be provided to Council.

12. Interallotment Drainage (Engineering Plans)

The engineering plans for the development shall identify any lots that do not drain directly to Council's stormwater drainage systems. For those lots, provision shall be made for interallotment drainage pipelines and associated easements to drain water two metres wide favouring the allotments served. All stormwater shall be disposed of to either an existing formed Council drainage system or a natural watercourse.

Where stormwater works shall be located on private property, that is not part of the development site, written authority shall be obtained from the land owner for the works and for the subsequent creation of an easement.

13. Stormwater Standards

A design shall be submitted for stormwater works in accordance with the requirements contained in *Development Control Plan 2014 and Guidelines*. The stormwater design shall meet the requirements of the publications and standards identified in this consent.

14. Construction of Kerb and Gutter and Other Works

All new public roads shall be constructed with kerb and gutter and street drainage generally in accordance with the draft civil engineering plans by ADW Johnson.

All works shall include associated road pavement, road shoulders and concrete footpaths or shared paths including drainage and adjustment to existing constructions in accordance with the provisions of the publications and standards identified in this consent.

Temporary turning heads shall be constructed at the end of any public road that abuts a future stage of the subdivision development.

As part of Stage 21 works Alton Road shall be constructed to meet the provisions of Planning for Bushfire Protection 2006. A minimum 6.5m wide carriageway with "No Parking" signage on one side of the road is required. The extent of works is from Lot 1118 in DP 1197657 to the western extent of Lot 2 DP 24904. Existing driveways accessing Alton Road affected by construction works shall be reinstated to their original condition or improved by agreement with Council.

15. Line Marking and Signposting

All regulatory line marking and sign posting on public roads shall be submitted to Council's Traffic Facilities and Road Safety Committee for approval. The works shall not commence until approved by the Committee.

16. Pavement Standards

Residential road pavements shall be designed in accordance with *A Guide To The Design Of New Pavements For Light Traffic* - AUSTROADS 2006. Main and industrial road pavements shall be designed in accordance with *Pavement Design, A Guide to the Structural Design of Road Pavements* - AUSTROADS 2012.

Designs for road pavements shall be prepared by a geotechnical consultant and shall be submitted to Council.

Where work shall be undertaken within a classified Main Road the pavement design shall also be submitted to the Roads and Maritime Services for its approval prior.

17. Submit Road Names for Approval

Proposed new road names shall be submitted to Council and approved prior to the issue of a Subdivision Works Certificate.

18. Compliance with Bushfire Threat Assessment

Bushfire mitigation measures shall comply with the recommendations of the report entitled Bushfire Threat Assessment dated November 2017 and prepared by MJD Environmental. The recommendations shall be incorporated into the engineering design plans for the subdivision.

19. Compliance with the Geotechnical Report

All recommendations contained in the Geotechnical Report No. EP0672.002 prepared by EP Risk dated 20 November 2017 shall be incorporated into the engineering design for the subdivision. All works proposed to be undertaken shall embody the relevant recommendations of the Geotechnical Report.

All engineering plans shall be endorsed by a suitably qualified Geotechnical Consultant. The endorsement shall state that the proposed works are in accordance with the recommendations of the aforementioned Geotechnical Report.

20. Compliance Certificate for Works

An application for a Compliance Certificate and the associated application fee shall be submitted to Council prior to the commencement of works identified on the respective Subdivision Works Certificate.

21. Application Fees for Required Certificates

Applications for the following Certificates shall be submitted. For Council to process applications for these certificates the following fees shall be payable:

Subdivision Works Certificate	Please contact Council for fees	Plus \$85 (inc GST) Archival Fee
Compliance Certificate	Please contact Council for fees	Plus \$85 (inc GST) Archival Fee

Applications for these certificates shall be lodged on the approved application form and be accompanied by the appropriate fee.

Where the development includes construction works valued at \$25,000.00 or more, the person having the benefit of the consent shall pay the Long Service Levy, as detailed in the *Building and Construction Industry Long Service Payments Scheme*. The Levy shall be paid prior to the issue of the Construction Certificate. The Levy shall be paid directly to the Long Service Payments Corporation or to Council as agent for the Corporation. The Levy rate is 0.35% of the cost of building and construction works.

The above fees are current for the **2021/2022** financial year and are subject to change each financial year without notice. Confirmation of the relevant fee shall be obtained from Council prior to the lodgement of any application.

22. Subdivision Works Certificate for Works

An application for a Subdivision Works Certificate and the associated fee shall be submitted to Council.

The application shall include detailed engineering plans and specifications (including a Design Certification Report and Checklists in accordance with *the Lake Macquarie City Council Engineering Guidelines*) relating to the works.

23. Contaminated Land Remediation Action Plan

Prior to the issue of a subdivision works certificate, a Remediation Action Plan (RAP) shall be prepared and a copy of the RAP provided to Council.

The RAP shall be prepared by a suitably qualified and experienced contaminated land consultant, to the satisfaction of Council and in accordance with:

- a) *Guidelines for Consultants Reporting on Contaminated Sites* (NSW Office of Environment and Heritage 2011)
- b) *Managing Land Contamination Planning Guidelines SEPP 55–Remediation of Land* (Department of Urban Affairs and Planning and NSW EPA 1998).

Conditions to be satisfied prior to the commencement of works

The person having the benefit of the consent shall comply with each of the following conditions prior to the commencement of works.

24. Service of Public Utilities

Arrangements shall be made with the relevant supply authorities and companies for the servicing of all lots in the subdivision with water, sewer, underground electricity and underground telecommunications facilities. Where available, reticulated gas shall be provided to the lots by arrangements with the local gas authority.

Where required by the Commonwealth Government's *Fibre in New Development's Policy*, the applicant shall arrange for the installation of optical fibre cabling in accordance with the NBN Co. Limited's specification.

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25. Details Required Prior to Commencement

Construction works in accordance with this development consent shall not commence until:-

- a) a Subdivision Works Certificate has been issued by :-
 - i. Council, or
 - ii. an appropriately Accredited certifier accredited in accordance with the Building and Development Certifiers Act, and
- b) the person having the benefit of the development consent:-
 - i. has appointed a Certifying Authority, and
 - ii. has notified the consent authority and Council (if the Council is not the consent authority) of the appointment, and
- c) the person having the benefit of the development consent has given at least two days notice to Council of the intention to commence works.

In accordance with Council's authority under Section 138 of *The Roads Act 1993*, a Private Certifier shall not issue a Certificate for any works within an existing public road. For works within an existing public road reserve, a Public Works Certificate application shall be lodged with Council.

Where Council is the Certifying Authority for a subdivision, an application for a Subdivision Works Certificate can only be made to Council.

A fee for applications for Subdivision Works Certificates shall be required to be paid in accordance with Council's fees and charges for Subdivision Works Certificates.

26. Dilapidation Survey Report

A dilapidation survey report shall be prepared by a suitably qualified person and lodged with Council. The dilapidation survey report shall cover public infrastructure including roads and stormwater drainage on the roads adjoining the development and along any approved haulage routes. Where existing buildings may be damaged by the proposed works, these buildings shall be included in the report.

The report shall include a description of the location and nature of any existing observable defects, including a photographic record.

27. Construction Management Plan/s for works within public road reserve and development site

Works within public domain

The contractor engaged to undertake the construction works within the public domain shall provide a Construction Management Plan (CMP) to Council, a minimum of seven days prior to commencing any works. The CMP shall be submitted to the City Projects Department at the following email address

projectmanagementpat@lakemac.nsw.gov.au. The CMP shall be approved by Council prior to works commencing on site. The CMP shall set out the construction approach for the works and should seek to minimise disruption to the local community.

Works within development site

The contractor engaged to undertake the construction works within the development site shall provide a CMP to the satisfaction of the Certifying Authority, a minimum of seven days prior to commencing any works. The CMP shall be approved by the Certifying Authority prior to works commencing on site. The CMP shall set out the construction approach for the works and should seek to minimise disruption to the local community.

CMP's

Both CMP's must address the following, where required:

Health and Safety

- a) Public safety, amenity and site security,
- b) Traffic control and management,
- c) Pedestrian management,
- d) Construction hours,
- e) Noise control,
- f) Contractor vehicle parking,
- g) Locating existing utilities and services,
- h) Health and Safety requirements.

Environment

- a) Air quality management,
- b) Erosion and sediment control- base information, monitoring and management,
- c) Waste management,
- d) Material stockpiling,

- e) Vegetation management,
- f) No-go zones,
- g) Heritage management (if applicable).

Quality

- a) Submission of current insurance certificates,
- b) Work method description,
- c) Construction equipment to be used,
- d) Inspection and testing requirements,
- e) CCTV survey of pipework,
- f) Earthworks methodologies,
- g) Haulage routes,
- h) Retaining structure construction methodologies,
- i) Concrete jointing methodologies,
- j) Subsoil drainage installation methodologies,
- k) Stormwater drainage infrastructure installation methodologies,
- l) Stormwater Quality Improvement Device installation methodologies,
- m) Road construction methodologies,
- n) Accessways and footway construction methodologies,
- o) Landscaping installation methodologies,
- p) Utility and services installation methodologies,
- q) Construction and installation methodologies of other structures not otherwise covered above.

All works on site shall be undertaken in accordance with the approved CMP.

A copy of the approved CMP, and any conditions imposed on that plan, shall be kept on site at all times and made available to any officer of Council upon request.

28. Notification to Neighbours

Written notification shall be provided to landowners and residents who live adjacent to the proposed development or who may be impacted by the proposed works. The notification shall be provided a minimum of seven days prior to commencement of works. The notification shall include the expected date of commencement of works and a brief description of the works.

29. Haulage Routes

Details of the proposed haulage routes to be used during construction works shall be submitted to Council. These details shall be submitted a minimum of seven days before the commencement of haulage operations. No haulage operations shall take place prior to the approval of the routes by Council. The haulage routes shall not be varied without the approval of Council.

Haulage routes shall be maintained and restored, as near as possible, to their original condition.

30. Notice of Commencement of Works

Construction works shall not commence until a meeting between the contractor and a representative of the Council or Certifying Authority has taken place on site.

In accordance with Section 6.12 of the *Environmental Planning and Assessment Act* the Council or Certifying Authority shall be given at least two days notice in writing prior to such meeting taking place.

The notice shall also include the names of the contractor undertaking construction and the developer's supervising officer.

31. Dams Safety NSW

No detention basin, embankment or other structure shall cause a water restriction sufficient to cause the basin, embankment or structure to be evaluated as any class of a declared dam by Dams Safety NSW in accordance with the Dams Safety Regulations.

Evidence shall be provided from Dams Safety NSW that any proposed stormwater structures shall not be declared.

Conditions to be satisfied during demolition and construction works

The person having the benefit of the consent shall comply with each of the following conditions during demolition and construction works.

32. Erosion Controls

All works and requirements identified in the approved Erosion and Sediment Control Plan shall be installed as part of the initial construction works in the first stage of the development. The erosion and sediment control works shall be maintained and a detailed record of the erosion and sediment controls on the site shall be updated during construction works. The record shall be updated on a daily basis and shall as a minimum contain details on the conditions of the controls and all maintenance and cleaning undertaken.

The record shall be available for inspection by the Certifying Authority during normal working hours.

Minor additional works shall be approved by the Certifying Authority during construction works.

33. Erosion Control Sign

Council's standard Erosion Control Sign as detailed in *Standard Drawing No. 3403/1* shall be supplied and erected on site. The sign shall be erected in a prominent location near the entrance to the development prior to the commencement of earthworks.

34. Preservation of Trees

All reasonable measures shall be taken to protect trees and other vegetation on the site and on adjoining lands from damage during construction. Trees and vegetation shall only be removed from those areas identified in the approved Subdivision Works Certificate. An application shall be made to Council for the removal of any other trees.

Tree and vegetation protection measures shall include but not be limited to:-

- a) clearly marking trees to remain
- b) avoiding compaction of ground around trees to remain
- c) clearly delineating the area of disturbance, and keeping all vehicles, construction materials and refuse within that area
- d) limiting the number of access points

35. Salvage of Trees and Shrubs

Trees and shrubs which are felled shall be salvaged for re-use, either in log form, or as a woodchip mulch for erosion control and/or site rehabilitation. Non-salvageable material such as roots and stumps shall be disposed of in an approved manner.

36. Grassing and Revegetation

All areas of the site disturbed by works shall be revegetated to prevent erosion. All areas shall be revegetated as soon as practical, and no later than the times specified in Landcom's – *Managing Urban Stormwater documents (2004)*.

Kikuyu grass shall not be used in areas adjoining native bushland or in drainage lines or channels.

37. Noise Control

All possible steps shall be taken to silence construction equipment and the operating noise level of plant and equipment shall not give rise to "offensive noise" as defined by the *Protection of the Environment Operations Act 1997*.

The operating noise level of machinery, plant and equipment during construction site operations shall comply with Chapter 171 of the *NSW EPA's Noise Control Manual*.

Construction operations shall be confined between the hours of 7.00am to 6.00pm Monday to Friday and 8.00am to 1.00pm Sunday. If construction operations are

inaudible within occupied residential properties then the work period shall be extended on Sundays to 7.00am to 1.00pm. No construction work shall take place on Saturdays or Public Holidays.

Should it be necessary to use mechanical rock breakers or conduct blasting then these operations shall be confined between the hours of 9.00am and 3.30pm Monday to Friday (excluding any Public Holiday).

Noise Level Restrictions

a) Construction period of four weeks and under:-

The L10 level measured over a period of not less than 15 minutes when the construction site is in operation shall not exceed the background level by more than 20dB(A).

b) Construction period greater than four weeks:-

The L10 level measured over a period of not less than 15 minutes when the construction site is in operation shall not exceed the background level by more than 10dB(A).

38. Installation of Service Pipes

All public utility service pipes, mains and conduits shall be installed in all new roads and existing roads, (where work is required in existing roads), as part of the construction works associated with the subdivision.

Conduits to cater for the installation of natural gas services shall be installed to service each lot in conjunction with road and drainage works.

39. Traffic Control Standards

For the duration of work being carried out as part of this development traffic control shall be undertaken in accordance with the requirements of *Australian Standards AS 1742 - Manual Uniform Traffic Control Services – Parts 1, 2 and 3*.

40. Street Lighting

Street lighting shall be provided for the development to the satisfaction of Ausgrid and in accordance with the road classification. The road classification shall be determined by Council and Ausgrid.

The street lighting shall include the upgrading of the lighting of the intersection of any new roads with existing roads.

41. Compliance with the Geotechnical Report

All recommendations contained in the Geotechnical Report No. EP0672.002 prepared by EP Risk dated 20 November 2017 that relate to construction inspections and testing shall be completed and recorded.

42. Earthworks Standards

All earthworks shall be undertaken in accordance with the standards specified in Table 5.1 of *Australian Standard AS 3798 - 2007 Guidelines on Earthworks for Commercial and Residential Developments*.

The inspection and testing of fill shall be at the responsibility level set out below, as defined in Section 8 of AS 3798-2007.

Fill Area	Responsibility Level
Water retaining embankments	1
Road embankments (greater than 2m high)	1
Road embankments (less than 2m high)	2*
Residential allotments	1
Industrial/Commercial allotments	1

* Level 1 may be used if desired by the applicant.

43. Contaminated Land Remediation and Validation

The site shall be remediated in accordance with the approved Remediation Action Plan (RAP).

Conditions to be satisfied prior to the issue of a Subdivision Certificate

The person having the benefit of the consent shall comply with each of the following conditions prior to the issue of a Subdivision Certificate.

44. Dedication of Lots as Drainage Reserve

Bioretention basins shall be dedicated to Council as Drainage Reserves at no cost to Council. The dedication shall take place at the time of registration of the Final Plan of Subdivision for each relevant stage.

The proposed drainage reserve shall be cleared of all rubbish, noxious plants, weeds, exotic plants and hazardous trees and be landscaped to the satisfaction of Council prior to the dedication of the lot/s.

45. Landscaping Works

All landscaping works shall be completed in accordance with the approved Landscape Plan. Correspondence shall be provided from a recognised landscaping professional, that confirms that the landscaping works have been completed in accordance with the approved plan.

All landscaping works shall be maintained for a period of 24 months.

The person having the benefit of the consent shall lodge a cash bond or Bank Guarantee with Council. The bond or guarantee shall be to the value determined in accordance with the *Subdivision Bonds and Guarantees Policy* and shall have regard to the value of the capital of the landscaping works and two years maintenance (the value of the bank guarantee or bond shall be determined in consultation with Council).

The monies shall be released 24 months after planting and when Council is satisfied that the landscaping has established.

46. Gross Pollutant Trap

All works associated with the Gross Pollutant Trap shall be completed in accordance with the approved design. Prior to the handover of any Gross Pollutant Traps (GPT) to Council, the GPT shall be inspected and maintained in Council's presence as a means of providing Council's maintenance personnel with an induction on the maintenance requirements of the device.

47. Water Quality Control Facilities

A bond or bank guarantee shall be submitted to Council for the outstanding works on the Water Quality Control Facility and for two years maintenance of the facility. The bank guarantee shall be released no less than two years after the completion of the facility and establishment of landscaping.

Prior to the release of the bank guarantee a handover inspection checklist (see *SQID Guidelines*) shall be submitted to Council and all landscaping shall be established in accordance with the approved plan to Council's satisfaction.

48. Service of Public Utilities

A letter of compliance from each service authority and service company shall be submitted to Council prior to the issue of a Subdivision Certificate. The letters shall confirm that the relevant service is available to all lots.

If the development is located within an area where NBN services are available, a letter of compliance from the NBN shall be required for all subdivisions.

If reticulated gas is not available for connection, communication with the local gas authority that confirms this is the case shall be provided to Council.

Note: Applications for two lot or dual occupancy subdivisions shall not require letters of compliance to be submitted to Council from Ausgrid or Telstra.

49. Dilapidation Survey Report

A final dilapidation survey report shall be prepared at the completion of the works to ascertain if any structural or cosmetic damage has occurred to the properties or infrastructure specified in the earlier report. A copy of the report shall be submitted to Council prior to the issue of the Subdivision Certificate.

Any damage identified in the dilapidation survey report shall be repaired prior to the issue of the Subdivision Certificate.

50. Disposal of Stormwater to a Watercourse or Council Easement

An easement for drainage shall be created over all stormwater works that impact on a private property. The easement shall identify the properties benefitted and burdened. Council shall be a party benefitted if the stormwater system carries any stormwater from a public area. Council shall be identified as the party that can release, vary or modify the easement.

The easement shall be created prior to, or at the time of registration of the Final Plan of Subdivision.

51. Interallotment Drainage (Engineering Plans)

An easement for drainage shall be created over all interallotment drainage pipelines. The easement shall identify the properties benefitted and burdened.

Council shall be identified as the party that can release, vary or modify the easement.

The easement shall be created prior to, or at the time of registration of the Final Plan of Subdivision.

52. Provision of Council Easements

Easements for drainage shall be created in favour of Council at the locations:

- a) shown on an approved copy of the Subdivision Works Certificate plans; or
- b) indicated in red on an approved copy of the Subdivision Works Certificate plans; and
- c) over any stormwater pipeline that carries stormwater from a public area.

The easement shall have a minimum width of three metres or the width of the 100 year flow path, whichever is greater. The easement shall benefit Council.

Council shall be identified as the party that can release, vary or modify the easement.

The easement shall be created prior to, or at the time of registration of the Final Plan of Subdivision.

53. Dedication of Roads

The final Plan of Subdivision shall make provision for the proposed new roads to be dedicated to Council. The dedication shall take place at no cost to Council.

All public roads that are to be dedicated shall be fully constructed in accordance with the standards identified in this consent.

54. Fix Damage Caused by Construction Work

Any damage or injury to a public road, utility services, street trees, stormwater drainage or associated infrastructure caused as a consequence of the development works shall be repaired as close as possible to its original condition.

It is the developer's responsibility to prove that damage was pre-existing or not caused by the development works.

55. Works as Executed Plan

An electronic copy of the Works as Executed Plans, certified by the Consulting Civil Engineer or Registered Surveyor supervising the works shall be supplied to Council.

Where applicable a Registered Surveyor's Certificate certifying that all pipes have been laid within the easements shown on the Final Plan of Subdivision shall also be submitted.

The Works as Executed Plan shall, in addition to construction details, show limits and depths of filling, locations of service conduits and street names.

56. Erection of Street Signs

New street name signs shall be supplied and erected in accordance with the requirements of Council's standard design requirements. All private roads shall be clearly signposted to indicate that they are private roads and not public roads.

57. Submit Road Names for Approval

Proposed new road names shall be submitted to Council for approval.

Council cannot release the Subdivision Certificate unless the proposed public roads have been named in accordance with Clause 162 of the *Roads Act 1993*. The Roads Act requires that the Geographical Names Board be given at least one month's notice of the proposed names.

58. Compliance with Bushfire Threat Assessment

Bushfire Mitigation measures shall comply with the recommendations of the report entitled Bushfire Threat Assessment dated November 2017 and prepared by MJD Environmental.

59. Earthworks Standards

A report prepared by a suitably experienced Geotechnical Consultant shall be submitted that certifies that all earthworks and filling have been completed in accordance with the requirements of Australian Standard AS 3798-2007 *Guidelines on Earthworks for Commercial and Residential Developments*. The report shall contain a plan showing the location, depth and classification of all filling in relation to the proposed new lot boundaries.

60. Site Classification of Lots

A suitably experienced Geotechnical Consultant shall determine the site classification of each proposed lot in accordance with AS 2870-2011 (as revised). A report setting out the site classifications for each lot shall be provided to Council.

61. Final Plan Submission

An application for a Subdivision Certificate accompanied by an original copy of the Final Plan of Subdivision and Deposited Plan Administration Sheet shall be submitted to Council. The location of all buildings and/or other permanent improvements shall be indicated on one additional plan.

When all conditions of the Development Consent have been satisfied the Subdivision Certificate may be issued.

62. House Numbering

A minimum of four weeks prior to lodgement of the Subdivision Certificate with Council, the person having the benefit of the consent shall provide a draft Final Plan of Subdivision to Council's Land Information section by email to enar@lakemac.nsw.gov.au. Council shall then provide house numbering for the lots within the subdivision for inclusion on the Survey Plan in accordance with Clause 60 of the *Surveying and Spatial Information Regulation 2012*.

63. 88B Instrument

An instrument under Section 88B of the *Conveyancing Act* shall be submitted to Council. The 88B Instrument shall set out terms of easements and/or restrictions as to user as may be required by conditions of this consent. Council shall be the party empowered to release, vary or modify those (and only those) easements and/or restrictions required by conditions of this development consent.

64. Compliance Certificate for Works

All construction works required for the subdivision shall be completed and a Compliance Certificate shall be obtained for these works. The Compliance Certificate shall certify that all construction works and associated development have been constructed in accordance with this Development Consent, the Subdivision Works Certificate and all other standards specified in this consent.

65. Section 50 Certificate or Section 307 Certificate

Prior to the issue of a Subdivision Certificate, a certificate of compliance under **Section 50** of the **Hunter Water Act 1991** or **Section 307 of the Water Management Act 2000** for the supply of water and sewer infrastructure for this development shall be obtained from the appropriate Water Supply Authority and submitted to the Principal Certifying Authority.

66. Location of Stormwater Pipes

A plan shall be submitted to Council that identifies the location of all stormwater pipes on the lots.

In the event that the stormwater drainage lines that drain water from any proposed lots cross or encroach on adjoining lots, easements to drain water two metres wide shall be created over the drainage lines. The easement location and details shall be shown on the Final Plan of Subdivision and 88B Instrument.

Council shall be identified as the party empowered to release, vary or modify the easement.

67. Application for Subdivision Certificate

An application for a Subdivision Certificate shall be submitted to Council. The following fee shall apply for the Subdivision Certificate application.

Subdivision Certificate	\$155.00/lot	Plus \$85	(inc GST)
	(min fee \$430.00)	Archival Fee	

Applications for this certificate shall be lodged on the approved application form and be accompanied by the appropriate fee.

The above fees are current for the **2021/2022 financial year** and are subject to change each financial year without notice. Confirmation of the relevant fee shall be obtained from Council prior to the lodgement of any application.

68. Contaminated Land Remediation and Validation

A suitably qualified and experienced Contaminated Land Consultant shall validate that the site has been remediated in accordance with the approved Remedial Action Plan. Validation shall be provided in accordance with the Guidelines for Consultants Reporting on Contaminated Sites (NSW Office of Environment and Heritage 2011). The validation report shall include a clear statement the consultant considers the site to be suitable for the approved use.

Note: Certification from the person who carried out remediation works shall be provided to Council in accordance with the requirements of Clause 18 of *State Environmental Planning Policy No 55 – Remediation of Land*.

Right of Appeal

If you are dissatisfied with this decision (including a determination on a review under Section 8.2), Section 8.7 and 8.10 of the Environmental Planning and Assessment Act 1979 gives you the right to appeal to the Land and Environment Court.

Please note Section 8.8 of the Environmental Planning and Assessment Act 1979, does not give a right of appeal to an objector who is dissatisfied with the determination of the Council to grant consent to a development application, unless the application is for designated development (including designated development that is integrated development).

Right of Review

Section 8.2 and 8.3 of the Environmental Planning and Assessment Act 1979 provides the applicant may request the Council to review the determination. A request to review the determination of a development application pursuant to Section 8.2 of the Environmental Planning and Assessment Act 1979 can only be undertaken where the consent authority is Council, other than:

- a) A determination to issue or refuse to issue a complying development certificate, or
- b) A determination in respect of designated development, or
- c) A determination made by the Council under Division 4 in respect of an application by the Crown.

Planning Assessment Commission

The Planning Assessment Commission has not conducted a public hearing in respect of this application.

Should you require further information, please contact Heath Robertson on 4921 0254 or by e-mail on hrobertson@lakemac.nsw.gov.au.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Elizabeth Lambert', with a large, stylized initial 'E'.

Elizabeth Lambert

Manager

Development Assessment and Certification



3 March 2022

JOHNSON PROPERTY GROUP PTY LIMITED
PO Box 288
MORISSET NSW 2264

Development Application Notice of Determination

Issued under the Environmental Planning and Assessment Act 1979
Sections 4.16, 4.17 & 4.18 (1)(a)

Development Application No: DA/1451/2021

Property Address: Lot 82 DP 1237780, Lot 52 DP 1259976, Lot 51 DP 1259976, Lot 621 DP 1202855
8 Rosendahl Road, COORANBONG NSW 2265, 123 Alton Road, COORANBONG NSW 2265, 125 Alton Road, COORANBONG NSW 2265, 11 Whistler Drive, COORANBONG NSW 2265

Description of Development: 215 Lot Torrens Title Residential Subdivision Across Nine (9) Stages

Determination: Approved

Determination Date: 3 March 2022

Consent to operate from: 3 March 2022

Consent to lapse on: 3 March 2027

Conditions of Consent

(Approved subject to the conditions specified in this notice and in accordance with the stamped approved plans).

Reason for the Imposition of Conditions

The reason for the imposition of the following conditions shall ensure, to Council's satisfaction, the objects of the *Environmental Planning and Assessment Act 1979* (as amended) are achieved:

To encourage:

- a) The proper management, development and conservation of natural and artificial resources, including agricultural land, natural areas, forest, minerals, water, cities, towns, and villages for the purpose of promoting the social and economic welfare of the community and a better environment;

126 – 138 Main Road T 02 4921 0333

Speers Point NSW 2284

BOX 1906 HRMC NSW 2310

E council@lakemac.nsw.gov.au

W lakemac.com.au



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- i. The promotion and co-ordination of the orderly and economic use of development of land;
 - ii. The protection, provision, and co-ordination of communication and utility services;
 - iii. The provision of land for public purposes;
 - iv. The provision and co-ordination of community services and facilities;
 - v. The protection of the environment, including the protection and conservation of native animals and plants including threatened species, populations, and ecological communities and their habitats;
 - vi. Ecologically Sustainable Development; and
 - vii. The provision and maintenance of affordable housing.
- b) To promote the sharing of the responsibility for environmental planning between the different levels of government in the State.
- c) To provide increased opportunity for public involvement and participation in environmental planning and assessment.

Administrative Conditions

1. Approved Documentation

The development consent incorporates this schedule of conditions and the plans and documents referenced and stamped as follows:

a) Plans Reference:

Subdivision Plans prepared by: ADW Johnson; Project Number. 239078(40)			
Name of Plan	Drawing Number	Issue	Date
Proposed subdivision cover sheet	DA-201	D	06/01/2022
Proposed subdivision showing lot sizes	DA-203	D	06/01/2022
Proposed subdivision showing stages	DA-204	D	06/01/2022
Stage 8	DANS-205	D	06/01/2022
Stage 9	DANS-206	D	06/01/2022
Stage 12	DANS-207	D	06/01/2022
Stage 23	DANS-208	D	06/01/2022
Stage 25	DANS-209	D	06/01/2022
Stage 26	DANS-210	D	06/01/2022
Stage 27	DANS-211	D	06/01/2022

Stage 28	DANS-212	D	06/01/2022
Stage 29	DANS-213	D	06/01/2022
APZ Buffer for proposed subdivision	DA-214	D	06/1/2022
Current title Boundaries of this DA	DA-215	D	06/01/2022
Proposed shared pathway and road hierarchy	DA-216	D	06/01/2022

b) Document Reference:

Document	Reference	Author	Date
Statement of Environmental Effects	Proposed 215 Lot Subdivision (in stages) with Associated Works and VPA Items 8f and 8g (Shared Paths)	ADW Johnson	16/06/2021
Concept Engineering Plans for proposed subdivision within precincts north & south 'Watagan Park' Whistler Drive Cooranbong	239078(40)NS-CENG	ADW Johnson	10/01/2022
Bushfire Threat Assessment	Precincts North B, C & D and South B & C, Watagan Park, North Cooranbong, NSW	MJD Environmental	22/11/2017
Secretary's Certificate Satisfactory Arrangements for designated State public infrastructure	IRF21/4841	NSW Government Planning Industry and Environment	14/12/2021
Notice under clause 6.2 of the Lake Macquarie Local Environment Plan regarding Altogether Cooranbong's capacity to service the proposed 215-lot subdivision	LOTS 51 & 52 DP.1259976, LOT 82 DP.1237780, LOT 621 DP.1202855 AND LOT 8450 DP.1250919, Watagan Park Cooranbong, NSW (DA/1451/2021)	Cooranbong Water	17/01/2022

Preliminary Geotech Investigation	EP0672.002	EP Risk	20/11/2017
Preliminary Site Investigation	EP0672.001	EP Risk	23/11/2017

Details of the development shown in the approved plans and documents referenced are altered in the manner indicated by:

- i. Any amendments made by Council on the approved plans or documents;
- ii. Any notes, markings, or stamps on approved plans or documents, and
- iii. Any conditions contained in this consent.

General Conditions

The person having the benefit of the consent shall comply with each of the following conditions.

2. Voluntary Planning Agreement - Subdivision

A Planning Agreement exists between Council of the City of Lake Macquarie and Johnson Property Group Pty Limited dated 7 June 2021. Prior to the issue of each Subdivision Certificate, all relevant provisions of the Planning Agreement shall be complied with to the satisfaction of Council. A development contribution has not been imposed in accordance with Clause 12 of the Planning Agreement.

The person having benefit of this consent shall comply with the Planning Agreement. A copy can be inspected at Council's Administration Building located at 126 – 138 Main Road, Speers Point by contacting Council's Development Contributions Section or on Council's website.

Conditions to be satisfied prior to the issue of the Subdivision Works Certificate

The person having the benefit of the consent shall comply with each of the following conditions prior to the issue of the Subdivision Works Certificate.

Any documentation required to be submitted for the Subdivision Works Certificate shall be submitted to the Certifying Authority unless otherwise specified.

3. Erosion Controls

An Erosion and Sediment Control Plan (ESCP) or Soil and Water Management Plan (SWMP) shall be prepared in accordance with *Development Control Plan 2014 and Guidelines*. The plan shall include plans and full calculations for all erosion and sediment control measures. The plan shall be submitted to Council for approval.

The plan shall be accompanied by a Statement of Compliance to certify that:

- a) The plan has been developed by an appropriately qualified and experienced professional in erosion and sediment control;
- b) The plan complies with the requirements for the area of disturbance as per *Development Control Plan 2014*;
- c) The plan and associated documents, calculations and drawings, have been prepared to a standard which, if properly implemented, shall achieve the water release criteria of 50mg/L of Total Suspended Solids (TSS); and
- d) All erosion and sediment control measures are in accordance with *Development Control Plan 2014*.

4. Preservation of Trees

A plan showing the location of trees and vegetation to be removed and the location of trees and vegetation to be retained shall be submitted. Trees and other vegetation shall only be removed from the site of road, drainage, bushfire mitigation and regrading works or areas approved by Council.

5. Roadways and Drainage Works Standards

All works for the development shall be designed and constructed in accordance with the following publications (as amended or updated), as applicable: -

- a) *Australian Rainfall and Runoff, 2019*.
- b) *Development Control Plan 2014* and supporting guidelines.
- c) *AUSTROADS Guide to Road Design Guide*.
- d) *Roads and Maritime Services Delineation Guidelines*.
- e) *Managing Urban Stormwater documents (2004)* by Landcom.
- f) *The Constructed Wetlands Manual* - Department of Land and Water Conservation, 1998.

- g) *WSUD Technical Design Guidelines for South East Queensland.*
- h) *Healthy Waterways – Water by Design Guidelines.*
- i) Australian Standards including, but not limited to:-
 - i. *AS1428 - Design for Access and Mobility, Part 1 General Requirements for Access and Part 4 Tactile Indicators,*
 - ii. *AS2890 - Off Street Parking*

Where any inconsistency exists between these documents the relevant standard to be adopted shall be verified in writing with Council.

6. Disposal of Stormwater to a Watercourse or Council Easement

Stormwater shall be disposed of to either an existing Council drainage system or natural watercourse.

Where stormwater works are located on private property, that is not part of the development site, written authority shall be obtained from the land owner for the works and for the subsequent creation of an easement. The written authority to discharge stormwater across the property and agreement to create an easement for drainage shall be provided to Council.

7. Interallotment Drainage (Engineering Plans)

The engineering plans for the development shall identify any lots that do not drain directly to Council's stormwater drainage systems. For those lots, provision shall be made for interallotment drainage pipelines and associated easements to drain water two metres wide favouring the allotments served. All stormwater shall be disposed of to either an existing formed Council drainage system or a natural watercourse.

Where stormwater works shall be located on private property, that is not part of the development site, written authority shall be obtained from the land owner for the works and for the subsequent creation of an easement.

8. Stormwater Standards

A design shall be submitted for stormwater works in accordance with the requirements contained in *Development Control Plan 2014 and Guidelines*. The stormwater design shall meet the requirements of the publications and standards identified in this consent.

9. Construction of Kerb and Gutter and Other Works

The construction works for the development shall generally be in accordance with the Concept Engineering Plans by ADW Johnson (Ref: 239078(40) NS-CENG-002, Rev B, dated 10.01.2022)

All works shall include associated road pavement, road shoulders and concrete footpaths including drainage and adjustment to existing constructions in accordance with the provisions of the publications and standards identified in this consent.

Temporary turning heads shall be constructed at the end of any public road that abuts a future stage of the subdivision development.

As part of the works for Stages 25, 26, 29; Alton Road shall be constructed to meet the provisions of Planning for Bushfire Protection 2006. A minimum 6.5m wide carriageway with "No Parking" signage on one side of the road is required. The extent of works is from Lot 1118 in DP 1197657 to the western extent of Lot 2 DP 24904. Existing driveways accessing Alton Road affected by construction works shall be reinstated to their original condition or improved by agreement with Council.

10. Line Marking and Signposting

All regulatory line marking and sign posting on public roads shall be submitted to Council's Traffic Facilities and Road Safety Committee for approval. The works shall not commence until approved by the Committee.

11. Pavement Standards

Residential road pavements shall be designed in accordance with *A Guide To The Design Of New Pavements For Light Traffic* - AUSTRROADS 2006. Main and industrial road pavements shall be designed in accordance with *Pavement Design, A Guide to the Structural Design of Road Pavements* - AUSTRROADS 2012.

Designs for road pavements shall be prepared by a geotechnical consultant and shall be submitted to Council.

Where work shall be undertaken within a classified Main Road the pavement design shall also be submitted to the Roads and Maritime Services for its approval prior.

12. Submit Road Names for Approval

Proposed new road names shall be submitted to Council and approved prior to the issue of a Subdivision Works Certificate.

13. Compliance with Bushfire Threat Assessment

Bushfire mitigation measures shall comply with the recommendations of the report entitled Bushfire Assessment Report dated June 2021 and prepared by MJD Environmental. The recommendations shall be incorporated into the engineering design plans for the subdivision.

All APZ's required shall be clearly shown on the engineering plans. Owners consent is required for APZ's located on land owned by others.

14. Compliance Certificate for Works

An application for a Compliance Certificate and the associated application fee shall be submitted to Council prior to the commencement of works identified on the respective Subdivision Works Certificate.

15. Application Fees for Required Certificates

Applications for the following Certificates shall be submitted. For Council to process applications for these certificates the following fees shall be payable:

Subdivision Works Certificate	Please contact Council for fees	Plus \$85 Archival Fee	(inc GST)
Compliance Certificate	Please contact Council for fees	Plus \$85 Archival Fee	(inc GST)

Applications for these certificates shall be lodged on the approved application form and be accompanied by the appropriate fee.

Where the development includes construction works valued at \$25,000.00 or more, the person having the benefit of the consent shall pay the Long Service Levy, as detailed in the *Building and Construction Industry Long Service Payments Scheme*. The Levy shall be paid prior to the issue of the Construction Certificate. The Levy shall be paid directly to the Long Service Payments Corporation or to Council as agent for the Corporation. The Levy rate is 0.35% of the cost of building and construction works.

The above fees are current for the **2021/2022** financial year and are subject to change each financial year without notice. Confirmation of the relevant fee shall be obtained from Council prior to the lodgement of any application.

16. Subdivision Works Certificate for Works

An application for a Subdivision Works Certificate and the associated fee shall be submitted to Council.

The application shall include detailed engineering plans and specifications (including a Design Certification Report and Checklists in accordance with *the Lake Macquarie City Council Engineering Guidelines*) relating to the works.

17. Landscaping works

A landscaping plan shall be prepared in accordance with the requirements of Development Control Plan 2014 and Guidelines.

Street trees shall be a minimum of 75 litre pot size and be protected by Council's standard tree guard (or approved equivalent).

The turf species used on all roadway landscapes and any other approved locations on public land shall be couch. This turf species shall be specified on all landscape concept and construction documentation.

The landscaping plan shall be submitted to Council for approval as a part of the Subdivision Works Certificate application.

18. Contaminated Land Remediation Action Plan

Prior to the issue of a subdivision works certificate, a Remediation Action Plan (RAP) shall be prepared and a copy of the RAP provided to Council.

The RAP shall be prepared by a suitably qualified and experienced contaminated land consultant, to the satisfaction of Council and in accordance with:

- a) *Guidelines for Consultants Reporting on Contaminated Sites* (NSW Office of Environment and Heritage 2011)
- b) *Managing Land Contamination Planning Guidelines SEPP 55–Remediation of Land* (Department of Urban Affairs and Planning and NSW EPA 1998).

19. Compliance with the Geotechnical Report

All recommendations contained in the Geotechnical Report No. EP0672.002 prepared by EP Risk dated 20 November 2017 shall be incorporated into the engineering design for the subdivision. All works proposed to be undertaken shall embody the relevant recommendations of the Geotechnical Report.

All engineering plans shall be endorsed by a suitably qualified Geotechnical Consultant. The endorsement shall state that the proposed works are in accordance with the recommendations of the aforementioned Geotechnical Report.

Conditions to be satisfied prior to the commencement of works

The person having the benefit of the consent shall comply with each of the following conditions prior to the commencement of works.

20. Service of Public Utilities

Arrangements shall be made with the relevant supply authorities and companies for the servicing of all lots in the subdivision with water, sewer, underground electricity and underground telecommunications facilities. Where available, reticulated gas shall be provided to the lots by arrangements with the local gas authority.

Where required by the Commonwealth Government's *Fibre in New Development's Policy*, the applicant shall arrange for the installation of optical fibre cabling in accordance with the NBN Co. Limited's specification.

21. Details Required Prior to Commencement

Construction works in accordance with this development consent shall not commence until: -

- a) a Subdivision Works Certificate has been issued by: -
 - i. Council, or
 - ii. an appropriately Accredited certifier accredited in accordance with the Building and Development Certifiers, and

- b) the person having the benefit of the development consent: -
 - i. has appointed a Certifying Authority, and
 - ii. has notified the consent authority and Council (if the Council is not the consent authority) of the appointment, and
- c) the person having the benefit of the development consent has given at least two days notice to Council of the intention to commence works.

In accordance with Council's authority under Section 138 of *The Roads Act 1993*, a Private Certifier shall not issue a Certificate for any works within an existing public road. For works within an existing public road reserve, a Public Works Certificate application shall be lodged with Council.

Where Council is the Certifying Authority for a subdivision, an application for a Subdivision Works Certificate can only be made to Council.

A fee for applications for Subdivision Works Certificates shall be required to be paid in accordance with Council's fees and charges for Subdivision Works Certificates.

22. Dilapidation Survey Report

A dilapidation survey report shall be prepared by a suitably qualified person and lodged with Council. The dilapidation survey report shall cover public infrastructure including roads and stormwater drainage on the roads adjoining the development and along any approved haulage routes. Where existing buildings may be damaged by the proposed works, these buildings shall be included in the report.

The report shall include a description of the location and nature of any existing observable defects, including a photographic record.

23. Construction Management Plan/s for works within public road reserve and development site

Works within public domain

The contractor engaged to undertake the construction works within the public domain shall provide a Construction Management Plan (CMP) to Council, a minimum of seven days prior to commencing any works. The CMP shall be submitted to the City Projects Department at the following email address projectmanagementpat@lakemac.nsw.gov.au. The CMP shall be approved by Council prior to works commencing on site. The CMP shall set out the construction approach for the works and should seek to minimise disruption to the local community.

Works within development site

The contractor engaged to undertake the construction works within the development site shall provide a CMP to the satisfaction of the Certifying Authority, a minimum of seven days prior to commencing any works. The CMP shall be approved by the Certifying Authority prior to works commencing on site. The CMP shall set out the construction approach for the works and should seek to minimise disruption to the local community.

CMP's

Both CMP's must address the following, where required:

Health and Safety

- a) Public safety, amenity and site security,
- b) Traffic control and management,
- c) Pedestrian management,
- d) Construction hours,
- e) Noise control,
- f) Contractor vehicle parking,
- g) Locating existing utilities and services,
- h) Health and Safety requirements.

Environment

- a) Air quality management,
- b) Erosion and sediment control- base information, monitoring and management,
- c) Waste management,
- d) Material stockpiling,
- e) Vegetation management,
- f) No-go zones,
- g) Heritage management (if applicable).

Quality

- a) Submission of current insurance certificates,
- b) Work method description,
- c) Construction equipment to be used,
- d) Inspection and testing requirements,
- e) CCTV survey of pipework,
- f) Earthworks methodologies,
- g) Haulage routes,
- h) Retaining structure construction methodologies,
- i) Concrete jointing methodologies,
- j) Subsoil drainage installation methodologies,
- k) Stormwater drainage infrastructure installation methodologies,
- l) Stormwater Quality Improvement Device installation methodologies,
- m) Road construction methodologies,
- n) Accessways and footway construction methodologies,
- o) Landscaping installation methodologies,
- p) Utility and services installation methodologies,
- q) Construction and installation methodologies of other structures not otherwise covered above.

All works on site shall be undertaken in accordance with the approved CMP.

A copy of the approved CMP, and any conditions imposed on that plan, shall be kept on site at all times and made available to any officer of Council upon request.

24. Notification to Neighbours

Written notification shall be provided to landowners and residents who live adjacent to the proposed development or who may be impacted by the proposed works. The notification shall be provided a minimum of seven days prior to commencement of works. The notification shall include the expected date of commencement of works and a brief description of the works.

25. Haulage Routes

Details of the proposed haulage routes to be used during construction works shall be submitted to Council. These details shall be submitted a minimum of seven days before the commencement of haulage operations. No haulage operations shall take place prior to the approval of the routes by Council. The haulage routes shall not be varied without the approval of Council.

Haulage routes shall be maintained and restored as near as possible, to their original condition.

26. Notice of Commencement of Works

Construction works shall not commence until a meeting between the contractor and a representative of the Council or Certifying Authority has taken place on site.

In accordance with Section 6.12 of the *Environmental Planning and Assessment Act* the Council or Certifying Authority shall be given at least two days notice in writing prior to such meeting taking place.

The notice shall also include the names of the contractor undertaking construction and the developer's supervising officer.

27. Ausgrid Requirements

Ausgrid's requirements for the installation of an electricity service to the development shall be identified.

Conditions to be satisfied during demolition and construction works

The person having the benefit of the consent shall comply with each of the following conditions during demolition and construction works.

28. Noise - Construction Sites

The operating noise level of construction site operations, including machinery, plant and equipment when measured at any affected premises, shall be evaluated and comply with the requirements Chapter 171 of the *NSW EPA's Noise Control Manual*.

Approved Construction Times

- a) The approved hours for construction of this development are –

Monday to Friday - 7.00am to 6.00pm.

Sunday – 8am to 1pm.

- b) No construction work shall take place on Saturdays or Public Holidays.

Construction Periods in Excess of 26 Weeks

- a) If the construction period is in excess of 26 weeks, a Noise Management Plan shall be provided to Council prior to the issue of the first construction certificate. Such plan shall be prepared with the assistance of a suitably qualified acoustic engineer, indicating whether the use of machinery, plant and equipment during those operations can be completed without causing offensive noise (as defined in the *Protection of the Environment Operations Act 1997*) in the neighbouring area. The Noise Management Plan shall be complied with at all times during the construction period and shall identify any mitigation measures to control noise, noise monitoring techniques and reporting methods, likely potential impacts from noise and a complaints handling system.
- b) Operational times may be amended with the written advice of Council's General Manager or delegate.

29. Erosion Controls

All works and requirements identified in the approved Erosion and Sediment Control Plan shall be installed as part of the initial construction works in the first stage of the development. The erosion and sediment control works shall be maintained and a detailed record of the erosion and sediment controls on the site shall be updated during construction works. The record shall be updated on a daily basis and shall as a minimum contain details on the conditions of the controls and all maintenance and cleaning undertaken.

The record shall be available for inspection by the Certifying Authority during normal working hours.

Minor additional works shall be approved by the Certifying Authority during construction works.

30. Erosion Control Sign

Council's standard Erosion and Sediment Control Sign as detailed in Standard Drawing No. EGSD 429 shall be supplied and erected on site by the person with the benefit of the consent. The sign shall be erected in a prominent location at the entrance of the site.

31. Preservation of Trees

All reasonable measures shall be taken to protect trees and other vegetation on the site and on adjoining lands from damage during construction. Trees and vegetation shall only be removed from those areas identified in the approved Subdivision Works Certificate. An application shall be made to Council for the removal of any other trees.

Tree and vegetation protection measures shall include but not be limited to:-

- a) clearly marking trees to remain
- b) avoiding compaction of ground around trees to remain
- c) clearly delineating the area of disturbance, and keeping all vehicles, construction materials and refuse within that area
- d) limiting the number of access points

32. Salvage of Trees and Shrubs

Trees and shrubs which are felled shall be salvaged for re-use, either in log form, or as a woodchip mulch for erosion control and/or site rehabilitation. Non-salvageable material such as roots and stumps shall be disposed of in an approved manner.

33. Grassing and Revegetation

All areas of the site disturbed by works shall be revegetated to prevent erosion. All areas shall be revegetated as soon as practical, and no later than the times specified in Landcom's – *Managing Urban Stormwater documents (2004)*.

Kikuyu grass shall not be used in areas adjoining native bushland or in drainage lines or channels.

34. Noise Control

All possible steps shall be taken to silence construction equipment and the operating noise level of plant and equipment shall not give rise to "offensive noise" as defined by the *Protection of the Environment Operations Act 1997*.

The operating noise level of machinery, plant and equipment during construction site operations shall comply with Chapter 171 of the *NSW EPA's Noise Control Manual*.

Construction operations shall be confined between the hours of 7.00am to 6.00pm Monday to Friday and 8.00am to 1.00pm Sunday. If construction operations are inaudible within occupied residential properties then the work period shall be extended on Sundays to 7.00am to 1.00pm. No construction work shall take place on Saturdays or Public Holidays.

Should it be necessary to use mechanical rock breakers or conduct blasting then these operations shall be confined between the hours of 9.00am and 3.30pm Monday to Friday (excluding any Public Holiday).

Noise Level Restrictions

- a) Construction period of four weeks and under: -

The L10 level measured over a period of not less than 15 minutes when the construction site is in operation shall not exceed the background level by more than 20dB(A).

- b) Construction period greater than four weeks: -

The L10 level measured over a period of not less than 15 minutes when the construction site is in operation shall not exceed the background level by more than 10dB(A).

35. Installation of Service Pipes

All public utility service pipes, mains and conduits shall be installed in all new roads and existing roads, (where work is required in existing roads), as part of the construction works associated with the subdivision.

Conduits to cater for the installation of natural gas services shall be installed to service each lot in conjunction with road and drainage works.

36. Traffic Control Standards

For the duration of work being carried out as part of this development, traffic control shall be undertaken in accordance with the requirements of *Australian Standards AS 1742 - Manual Uniform Traffic Control Services – Parts 1, 2 and 3*.

37. Street Lighting

Street lighting shall be provided for the development to the satisfaction of Ausgrid and in accordance with the road classification. The road classification shall be determined by Council and Ausgrid.

The street lighting shall include the upgrading of the lighting of the intersection of any new roads with existing roads.

38. Earthworks Standards

All earthworks shall be undertaken in accordance with the standards specified in Table 5.1 of *Australian Standard AS 3798 - 2007 Guidelines on Earthworks for Commercial and Residential Developments*.

The inspection and testing of fill shall be at the responsibility level set out below, as defined in Section 8 of AS 3798-2007.

Fill Area	Responsibility Level
Water retaining embankments	1
Road embankments (greater than 2m high)	1
Road embankments (less than 2m high)	2*
Residential allotments	1
Industrial/Commercial allotments	1

* Level 1 may be used if desired by the applicant.

39. Contaminated Land Remediation and Validation

The site shall be remediated in accordance with the approved Remediation Action Plan (RAP).

40. Compliance with the Geotechnical Report

All recommendations contained in the Geotechnical Report No. EP0672.002 prepared by EP Risk dated 20 November 2017 that relate to construction inspections and testing shall be completed and recorded.

Conditions to be satisfied prior to the issue of a Subdivision Certificate

The person having the benefit of the consent shall comply with each of the following conditions prior to the issue of a Subdivision Certificate.

41. Service of Public Utilities

A letter of compliance from each service authority and service company shall be submitted to Council prior to the issue of a Subdivision Certificate. The letters shall confirm that the relevant service is available to all lots.

If the development is located within an area where NBN services are available, a letter of compliance from the NBN shall be required for all subdivisions.

If reticulated gas is not available for connection, communication with the local gas authority that confirms this is the case shall be provided to Council.

Note: Applications for two lot or dual occupancy subdivisions shall not require letters of compliance to be submitted to Council from Ausgrid or Telstra.

42. Dilapidation Survey Report

A final dilapidation survey report shall be prepared at the completion of the works to ascertain if any structural or cosmetic damage has occurred to the properties or infrastructure specified in the earlier report. A copy of the report shall be submitted to Council prior to the issue of the Subdivision Certificate.

Any damage identified in the dilapidation survey report shall be repaired prior to the issue of the Subdivision Certificate.

43. Disposal of Stormwater to a Watercourse or Council Easement

An easement for drainage shall be created over all stormwater works that impact on a private property. The easement shall identify the properties benefitted and burdened. Council shall be a party benefitted if the stormwater system carries any stormwater from a public area. Council shall be identified as the party that can release, vary or modify the easement.

The easement shall be created prior to, or at the time of registration of the Final Plan of Subdivision.

44. Interallotment Drainage (Engineering Plans)

An easement for drainage shall be created over all interallotment drainage pipelines. The easement shall identify the properties benefitted and burdened.

Council shall be identified as the party that can release, vary or modify the easement.

The easement shall be created prior to, or at the time of registration of the Final Plan of Subdivision.

45. Dedication of Roads

The final Plan of Subdivision shall make provision for the proposed new roads to be dedicated to Council. The dedication shall take place at no cost to Council.

All public roads that are to be dedicated shall be fully constructed in accordance with the standards identified in this consent.

46. Fix Damage Caused by Construction Work

Any damage or injury to a public road, utility services, street trees, stormwater drainage or associated infrastructure caused as a consequence of the development works shall be repaired as close as possible to its original condition.

It is the developer's responsibility to prove that damage was pre-existing or not caused by the development works.

47. Works as Executed Plan

An electronic copy of the Works as Executed Plans, certified by the Consulting Civil Engineer or Registered Surveyor supervising the works shall be supplied to Council.

Where applicable a Registered Surveyor's Certificate certifying that all pipes have been laid within the easements shown on the Final Plan of Subdivision shall also be submitted.

The Works as Executed Plan shall, in addition to construction details, show limits and depths of filling, locations of service conduits and street names.

48. Erection of Street Signs

New street name signs shall be supplied and erected in accordance with the requirements of Council's standard design requirements. All private roads shall be clearly signposted to indicate that they are private roads and not public roads.

49. Submit Road Names for Approval

Proposed new road names shall be submitted to Council for approval.

Council cannot release the Subdivision Certificate unless the proposed public roads have been named in accordance with Clause 162 of the *Roads Act 1993*. The Roads Act requires that the Geographical Names Board be given at least one month's notice of the proposed names.

50. Compliance with Bushfire Threat Assessment

Bushfire Mitigation measures shall comply with the recommendations of the report entitled Bushfire Assessment Report dated June 2021 and prepared by MJD Environmental.

51. Earthworks Standards

A report prepared by a suitably experienced Geotechnical Consultant shall be submitted that certifies that all earthworks and filling have been completed in accordance with the requirements of Australian Standard AS 3798-2007 *Guidelines on Earthworks for Commercial and Residential Developments*. The report shall contain a plan showing the location, depth and classification of all filling in relation to the proposed new lot boundaries.

52. Site Classification of Lots

A suitably experienced Geotechnical Consultant shall determine the site classification of each proposed lot in accordance with AS 2870-2011 (as revised). A report setting out the site classifications for each lot shall be provided to Council.

53. Final Plan Submission

An application for a Subdivision Certificate accompanied by an original copy of the Final Plan of Subdivision and Deposited Plan Administration Sheet shall be submitted to Council. The location of all buildings and/or other permanent improvements shall be indicated on one additional plan.

When all conditions of the Development Consent have been satisfied the Subdivision Certificate may be issued.

54. House Numbering

A minimum of four weeks prior to lodgement of the Subdivision Certificate with Council, the person having the benefit of the consent shall provide a draft Final Plan of Subdivision to Council's Land Information section by email to enar@lakemac.nsw.gov.au. Council shall then provide house numbering for the lots within the subdivision for inclusion on the Survey Plan in accordance with Clause 60 of the *Surveying and Spatial Information Regulation 2012*.

55. 88B Instrument

An instrument under Section 88B of the *Conveyancing Act* shall be submitted to Council. The 88B Instrument shall set out terms of easements and/or restrictions as to user as may be required by conditions of this consent. Council shall be the party empowered to release, vary or modify those (and only those) easements and/or restrictions required by conditions of this development consent.

56. Compliance Certificate for Works

All construction works required for the subdivision shall be completed and a Compliance Certificate shall be obtained for these works. The Compliance Certificate shall certify that all construction works and associated development have been constructed in accordance with this Development Consent, the Subdivision Works Certificate and all other standards specified in this consent.

57. Section 50 Certificate or Section 307 Certificate

Prior to the issue of a Subdivision Certificate, a certificate of compliance under **Section 50** of the **Hunter Water Act 1991** or **Section 307 of the Water Management Act 2000** for the supply of water and sewer infrastructure for this development shall be obtained from the appropriate Water Supply Authority and submitted to the Principal Certifying Authority.

58. Application for Subdivision Certificate

An application for a Subdivision Certificate shall be submitted to Council. The following fee shall apply for the Subdivision Certificate application.

Subdivision Certificate	\$155.00/lot	Plus \$85	(inc GST)
	(min fee \$430.00)	Archival Fee	

Applications for this certificate shall be lodged on the approved application form and be accompanied by the appropriate fee.

The above fees are current for the **2021/2022 financial year** and are subject to change each financial year without notice. Confirmation of the relevant fee shall be obtained from Council prior to the lodgement of any application.

59. Stormwater Management

The Stormwater detention and water quality measures approved under DA/2234/2017 shall be constructed prior to any lots being registered under this consent.

60. McCullough Street and Jeremiah Drive Extension

McCullough Street and Jeremiah Drive shall be extended prior to the registration of lots in Stages 8, 9 and 12. The extension of these roads shall be generally as shown on the Concept Engineering Plans by ADW Johnson (Ref: 239078(40)NS-CENG-002, Rev B, dated 10.01.2022).

61. Landscaping Works

All landscaping works shall be completed in accordance with the approved Landscape Plan. Correspondence shall be provided from a recognised landscaping professional, that confirms that the landscaping works have been completed in accordance with the approved plan.

All landscaping works shall be maintained for a period of 24 months.

The person having the benefit of the consent shall lodge a cash bond or Bank Guarantee with Council. The bond or guarantee shall be to the value determined in accordance with the *Subdivision Bonds and Guarantees Policy* and shall have regard to the value of the capital of the landscaping works and two years maintenance (the value of the bank guarantee or bond shall be determined in consultation with Council).

The monies shall be released 24 months after planting and when Council is satisfied that the landscaping has established.

62. Contaminated Land Remediation and Validation

A suitably qualified and experienced Contaminated Land Consultant shall validate that the site has been remediated in accordance with the approved Remedial Action Plan. Validation shall be provided in accordance with the Guidelines for Consultants Reporting on Contaminated Sites (NSW Office of Environment and Heritage 2011). The validation report shall include a clear statement the consultant considers the site to be suitable for the approved use.

Note: Certification from the person who carried out remediation works shall be provided to Council in accordance with the requirements of Clause 18 of *State Environmental Planning Policy No 55 – Remediation of Land*.

63. Provision of Council Easements

Easements for drainage shall be created in favour of Council at the locations:

- a) shown on an approved copy of the Subdivision Works Certificate plans; or
- b) indicated in red on an approved copy of the Subdivision Works Certificate plans; and
- c) over any stormwater pipeline that carries stormwater from a public area.

The easement shall have a minimum width of three metres or the width of the 100 year flow path, whichever is greater. The easement shall benefit Council.

Council shall be identified as the party that can release, vary or modify the easement.

The easement shall be created prior to, or at the time of registration of the Final Plan of Subdivision.

64. Ausgrid Requirements

Prior to the issue of any Subdivision Certificate, all of Ausgrid's requirements shall be satisfied.

Right of Appeal

If you are dissatisfied with this decision (including a determination on a review under Section 8.2), Section 8.7 and 8.10 of the Environmental Planning and Assessment Act 1979 gives you the right to appeal to the Land and Environment Court.

Please note Section 8.8 of the Environmental Planning and Assessment Act 1979, does not give a right of appeal to an objector who is dissatisfied with the determination of the Council to grant consent to a development application, unless the application is for designated development (including designated development that is integrated development).

Right of Review

Section 8.2 and 8.3 of the Environmental Planning and Assessment Act 1979 provides the applicant may request the Council to review the determination. A request to review the determination of a development application pursuant to Section 8.2 of the Environmental Planning and Assessment Act 1979 can only be undertaken where the consent authority is Council, other than:

- a) A determination to issue or refuse to issue a complying development certificate, or
- b) A determination in respect of designated development, or
- c) A determination made by the Council under Division 4 in respect of an application by the Crown.

Planning Assessment Commission

The Planning Assessment Commission has not conducted a public hearing in respect of this application.

Should you require further information, please contact the undersigned on 4921 0448 or by e-mail on elambert@lakemac.nsw.gov.au.

Yours faithfully

A handwritten signature in black ink, appearing to read 'El Lambert', with a large, stylized initial 'E'.

Elizabeth Lambert
Manager Development Assessment and Certification